

**MANASQUAN PLANNING BOARD MEETING AGENDA  
CONDUCTED WITH ZOOM  
AUGUST 03, 2021 7:00 PM – TUESDAY**

**Join Zoom Meeting**

<https://zoom.us/j/2610095007?pwd=d01aMVlrY0hINVFGd25RcGpyZS83QT09>

**OR**

**Tel – 1-646 876 9923 US (New York)**

**ID # 261 009 5007**

**Password 281 797**

Please take notice that the Manasquan Planning Board will convene a remote meeting on August 03, 2021 7:00 PM. (The Board had previously advertised the said meeting, but the within notice is being re-advertised so as to publicize the remote nature of the same.) Due to the Coronavirus/COVID-19 Borough and State Directives, the said meeting is being held remotely, through a web-meeting conference communication system. The remote meeting format will allow Board Members and the Public to simultaneously hear, listen to, participate in, digest, observe, comment on, and/or otherwise object to any and all Board decisions/actions. The remote meeting format, as aforesaid, will allow the Borough's Planning Board to conduct business, without violating any Executive Orders, without violating any COVID-19 Health and Safety Protocol, and while still complying with the spirit and intent of Prevailing Provisions of New Jersey Law. (Please note that the public access to the Municipal Building is not currently permitted).

Members of the public are welcome to, and encouraged to, participate by observing/participating in the remote meeting. The meeting will be held via Zoom. You can access the meeting through the Zoom App via a smartphone or tablet, via a special link on your computer, or by telephone. Note the information printed above.

**PUBLIC MEETING**

Salute to the Flag

Roll Call

Sunshine Law Announcement

**OLD/NEW BUSINESS**

1. Vouchers

**RESOLUTION**

2. 373 E. Virginia - Yorey, Rosemary - Application #26-2021
3. 7 Meadow Avenue - Ferchak, Laura & William - Application #29-2021

**APPLICATION**

4. #30-2021 Dycava Properties, LLC - 67/69 Main Street - Block 27 - Lot 10.01 Zone B-1
5. #32-2021 Salt Air Properties, LLC - 42 First Avenue/43 Beachfront - Block: 165 Lot: 15.01, Zone R-4

**OTHER BUSINESS**

Comments from individual board members

**ADJOURNMENT**

**APPLICATION TO THE PLANNING BOARD**

**Applicant's Name** DYCAVA PROPERTIES LLC

**Applicant's Address** 1386 Route 9, Toms River, NJ 08755

**Telephone Number** 732-286-9600 ext 101 (Attn: John Vowteras)  
**(Home and Cell)** Cell 732-539-5859

**Property Location** 67-69 Main Street, Manasquan, NJ  
**Block:** 27 **Lot** 10.01

**Type of Application** Site Plan Approval  
**Bulk Variance, Non-Permitted Use – Conditional Use – Subdivision – Minor Subdivision – Major – Site Plan Approval**

**Date of Zoning Officer's Denial Letter** February 23, 2021  
**Zoning Permit Application Attached**

**Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.**

**Is the Applicant the Landowner?** No-contract purchaser

**Does the Applicant own any adjoining land?** no

**Are the property Taxes paid to date?** exempt

**Have there been any previous applications to the Planning Board concerning this property?** n/a  
**(Attach copies)**

**Have there been any previous applications to the Planning Board. If there were please attach copies.**

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Are there any Deed Restrictions, easements, or covenants affecting this property and if so please attach n/a

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The applicant agrees to be responsible for and pay the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter.

Signature of Applicant or Agent *Michael B. York*  
Date 5/20/2021 Michael B. York, Attorney for Applicant  
732-349-7100 michael.york@nyplaw.com

BOROUGH HALL  
201 EAST MAIN STREET

EDWARD G. DONOVAN  
Mayor

THOMAS F. FLARITY  
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT

**BOROUGH OF MANASQUAN**  
COUNTY OF MONMOUTH  
NEW JERSEY 08736

732-223-0544  
Fax 732-223-1300

FRANK F. DIROMA  
Supervisor of Code Enforcement

STEVEN J. WINTERS  
Construction Official

February 23, 2021

Michael York, Esq.  
Novins, York, Jacobus & Dooley  
202 Main Street  
Toms River, NJ 08753

Re: Block: 27 Lot: 10.01 Zone: B-1  
Dycava Properties – 67-69 Main Street

Dear Sir:

On this date we reviewed your application for the following project.

Convert the existing mixed use (Office & Retail) buildings into an office use occupying both buildings.

Survey prepared by Justin Hedges on December 12, 2020. Conceptual floor plans prepared by Robert Hazelrigg on December 29, 2020.

**Application denied for the following reason(s):**

Section 35-18.3 – Planning Board approval required for the proposed project.

**Site:**

Section 35-9.4 – Lot Coverage – 60% Permitted  
95% Existing

Section 35-13.4 – On Site Parking – Office Use – 1 Space/ 300s.f. Gross floor area  
7,420s.f. / 300s.f. = 25 Spaces Required  
10 Spaces Existing

Section 35-13.2c - Parking area setback – Non Residential – 4ft. Required  
.0ft. Existing



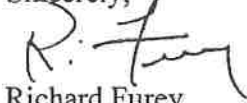
Section 35-13.3a – Parking area setback – Residential – 15ft. Required  
.0ft. Existing

**67 Main Street:**

Section 35-9.4 – Front Setback – 10ft. Required  
3ft. Existing

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey  
Zoning/Code Enforcement Officer

June 2, 2021

Mary Salerno, Secretary  
Manasquan Borough Planning Board  
201 East Main Street  
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1580  
Site Plan – Dycava Properties  
Block 27, Lot 10.01  
67-69 Main Street  
B-1 - Business Retail Zone  
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Zoning Plan prepared by Patrick Ward, PE, PP, of InSite Engineering, LLC, dated April 12, 2021.
2. Architectural Floorplans and Elevation prepared by Robert Hazelrigg, AIA, of Robert A. Hazelrigg & Associates, dated May 6, 2021.
3. Boundary & Topographic Survey prepared by Justin Hedges, PLS, of InSite Surveying, dated March 20, 2021, last revised April 1, 2021.

The property is located in the B-1 - Business Zone with frontage on Main Street. With this application, the applicant proposes interior renovations to the existing building to convert the existing retail/office use to full office space. The application is deemed complete as of June 2, 2021.

The following are our comments and recommendations regarding this application:

#### **Zoning**

1. The property is located in the B-1 – Business Zone. The proposed office use is permitted in the zone.
2. The following bulk ('c') variances are required as part of this application:
  - a. A total of 25 parking spaces are required, whereas 16 spaces exist and are proposed.
3. The following non-conformities exist on Lot 10.01 and are not proposed to be modified as part of this application:

Re: Boro File No. MSPB-R1580  
Site Plan – Dycava Properties  
Block 27, Lot 10.01

June 2, 2021  
Sheet 2

- a. A minimum front yard setback of 10 feet is required, whereas a setback of 3 feet exists and is proposed.
  - b. A minimum parking setback of 4 feet is required, whereas a setback of 0.2 feet exists and is proposed (west).
  - c. A maximum lot coverage of 60% is permitted, whereas a coverage of 95% exists and is proposed.
  - d. A minimum accessory rear yard setback of 5 feet is required, whereas a setback of 2.5 feet exists to the rear shed.
  - e. A minimum accessory side yard setback of 3 feet is required, whereas a setback of 0.8 feet exists to the rear shed.
  - f. A maximum accessory shed building of 100 square feet is permitted, whereas the existing shed is 147.6 square feet.
4. The applicant should be prepared to explain the proposed office use to the Board. The proposed hours of operation, number of employees, nature of deliveries and trash collection should be discussed.
  5. Building mounted signage is shown on the submitted architectural elevations, however no dimensions are provided. The applicant should be aware that any proposed signage must meet ordinance requirements as no variances are being requested. The applicant should also indicate if the existing ground sign will remain or be modified.
  6. As there is no increase in building or lot coverage, additional stormwater improvements are not required.
  7. It appears that handicap accessibility is provided to both buildings and the required handicap accessible parking space exists on site.
  8. Any site improvements (sidewalk, pavers, curb, building lighting, etc.) or grading changes must be shown on the site plan.
  9. No trees are to be removed as part of the application.
  10. Any Borough curb and sidewalk damaged during construction must be replaced as necessary.
  11. All necessary outside agency approvals must be obtained for this project. These may include, but not be limited to the following:
    - a. Monmouth County Planning Board




Re: Boro File No. MSPB-R1580  
Site Plan – Dycava Properties  
Block 27, Lot 10.01

June 2, 2021  
Sheet 3

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,

  
ALBERT D. YODAKIS, P.E., P.P.  
PLANNING BOARD ENGINEER  
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney  
Michael York, esq.  
Novins, York, Jacobus & Dooley, 202 Main Street, Toms River, NJ 08753  
Patrick Ward, PE, PP  
InSite Engineering, 1955 Route 34, Suite 1A, Wall, NJ 07719  
Dycava Properties LLC  
1386 Route 9, Toms River, NJ 08755 ,

# ZONING PLAN FOR 67-69 MAIN STREET

## BLOCK 27, LOT 10.01 TAX MAP SHEET #3 67-69 MAIN STREET

### MANASQUAN, MONMOUTH COUNTY, NJ

**REVISED**

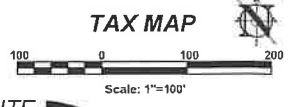
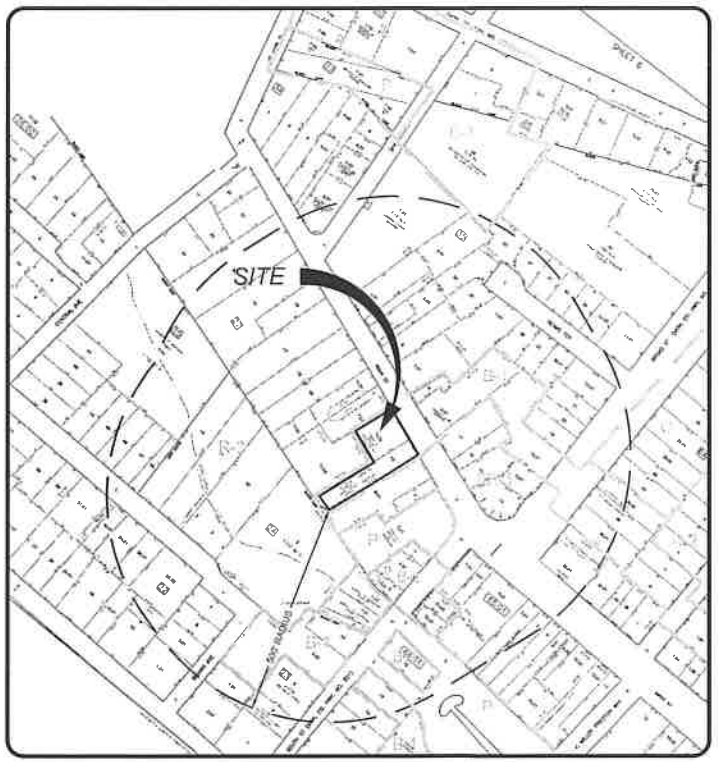
**GENERAL NOTES**

- SUBJECT PROPERTY**  
TAX MAP #2: BLOCK 27, LOT 10.01, 67-69 MAIN STREET, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY
- PURPOSE OF THIS PLAN SET**  
THIS PLAN SET HAS BEEN PREPARED FOR THE PURPOSE OF SITE PLAN REVIEW AND APPROVAL. THE PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL FINAL APPROVALS HAVE BEEN OBTAINED AND ALL THE CONDITIONS OF THE APPROVALS HAVE BEEN SATISFIED.
- SURVEY DATA**  
SURVEY INFORMATION CONTAINED HEREON IS BASED ON A FIELD SURVEY PERFORMED BY INSITE SURVEYING, LLC, ENTITLED "BOUNDARY TOPOGRAPHIC SURVEY OF BLOCK 27, LOT 10.01, 67-69 MAIN STREET," BEING DATED 03/20/21. LAST REVISED 04/01/21.  
HORIZONTAL DATUM: DG 9116 PG 8185 VERTICAL DATUM: NAVD83
- BASE FLOOD ELEVATION**  
ACCORDING TO FEMA'S EFFECTIVE FIRM ENTITLED "FIRM - FLOOD INSURANCE RATE MAP (FIRM), MONMOUTH COUNTY, NEW JERSEY (ALL JURISDICTIONS)," COMMUNITY PANEL 340250049F, DATED 9/25/09, THE SITE IS PARTIALLY LOCATED IN ZONE AE WITH A BASE FLOOD ELEVATION OF 16.
- FRESHWATER/COASTAL WETLANDS AND STREAMS**  
THERE ARE NO FRESHWATER/COASTAL WETLANDS AND STREAMS ON THIS SITE.
- ARCHITECTURAL INFORMATION**  
ARCHITECTURAL INFORMATION CONTAINED HEREON IS BASED ON PLANS PREPARED BY ROBERT A. HAZELRIGG & ASSOCIATES, ARCHITECTS, ENTITLED "FUTURE TENANT, 67 MAIN STREET, MANASQUAN, NJ," BEING DATED 12/29/20.
- SITE IMPROVEMENTS**  
ALL EXISTING SITE IMPROVEMENTS ARE TO REMAIN AS-IS.
- UNDERGROUND UTILITIES NOTIFICATION**  
FOR ANY EXCAVATION IN NEW JERSEY, THE CONTRACTOR MUST CALL NEW JERSEY ONE CALL SERVICE AT 1-800-272-1000 FOR A MARKOUT REQUEST NO LESS THAN THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
- VERIFICATION OF UTILITIES**  
THE CONTRACTOR IS DIRECTED TO THE FACT THAT THE APPROXIMATE LOCATIONS OF KNOWN UTILITY STRUCTURES AND FACILITIES (INCLUDING BUT NOT LIMITED TO SANITARY SEWERS, STORM SEWERS, POTABLE WATER LINES AND APPURTENANCES, NATURAL GAS LINES, ELECTRIC, TELEPHONE AND CATV LINES AND UNDERGROUND STORAGE TANKS) THAT MAY BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF THE WORK ARE SHOWN ON THE PLANS. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER, AND THE CONTRACTOR IS ADVISED TO VERIFY IN THE FIELD ALL THE FACTS CONCERNING THE LOCATION AND ELEVATION OF THESE UTILITIES OR OTHER TRAFFIC CONTROL OBSTACLES IMPACTED BY NEW CONSTRUCTION PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, IN WRITING, PRIOR TO CONSTRUCTION, OF ANY DISCREPANCIES WHICH MAY AFFECT THE PROJECT DESIGN.
- SPECIFICATIONS**  
UNLESS OTHERWISE NOTED HEREON, ALL SITE WORK SHALL BE CARRIED OUT IN CONFORMANCE WITH THE PROVISIONS OF THE "NEW JERSEY DEPARTMENT OF TRANSPORTATION (NJDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," LATEST EDITION.
- CONSTRUCTION REQUIREMENTS**
  - ALL CONSTRUCTION AND DEMOLITION SHALL CONFORM WITH ANY APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR HAS SOLE RESPONSIBILITY FOR SITE SAFETY WAYS, MEANS AND METHODS OF CONSTRUCTION AND SHALL CONFORM TO AND ABIDE BY ALL CURRENT OSHA STANDARD OR REGULATIONS. SAFE CONSTRUCTION PRACTICES REMAIN THE OBLIGATION OF THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE FEDERAL, STATE AND LOCAL PERMITS PRIOR TO CONSTRUCTION.
  - THE CONTRACTOR SHALL PERFORM ALL WORK IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES.
  - THE CONTRACTOR SHALL PROVIDE NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY WITHIN THE PROJECT FOR THE PROTECTION AND THE SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT CONSTRUCTION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE CLEANUP WITHIN THE CONSTRUCTION AREA AND SHALL DISPOSE OF DEBRIS IN ACCORDANCE WITH ANY LOCAL, STATE OR FEDERAL REGULATIONS.
  - ANY DAMAGE TO PUBLIC STREETS, CURBS, SIDEWALKS AND UTILITIES AS A RESULT OF SITE CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR.
- CONSTRUCTION PERMITS/INSPECTIONS**  
CONTRACTOR RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FROM ANY AGENCY HAVING JURISDICTION OVER THE PROJECT.
- ADA COMPLIANCE**
  - ALL SITE IMPROVEMENTS LOCATED ON THE PRIVATE PROPERTY SHALL BE IN COMPLIANCE WITH THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, STANDARDS FOR PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES, TITLE III.
  - ALL SITE IMPROVEMENTS LOCATED WITHIN PUBLIC RIGHT-OF-WAY SHALL BE IN COMPLIANCE WITH THE CURRENT PUBLIC RIGHTS-OF-WAY ACCESS ADVISORY COMMITTEE GUIDELINES.

**PROPERTY OWNERS WITHIN 200'**

BOROUGH OF MANASQUAN  
CERTIFIED LIST OF PROPERTY OWNERS - 67-69 MAIN ST (BLOCK 27 / LOT 10.01)  
COMPLETED 4/26/21

BLOCK	LOT	PROPERTY ADDRESS	OWNER	MAILING STREET	MAILING CITY, STATE, ZIP
24	1.01	29 SOUTH ST	BOROUGH OF MANASQUAN	201 E MAIN ST	MANASQUAN, NJ 08736
24		2 29 SOUTH ST	MILLARD, JOHN & SARAH-JANE	29 SOUTH ST	MANASQUAN, NJ 08736
24	10	76 ALLEN AVE	CHRISTENSEN, RICHARD J & INGRID	76 ALLEN AVE	MANASQUAN, NJ 08736
27	1.01	37 SOUTH ST	17 SOUTH STREET LLC	17 SOUTH ST	MANASQUAN, NJ 08736
27	3	23 SOUTH ST	FENTON, ELIZABETH	107 HANBRISON ST	VERONA, NJ 07064
27	4	9 SOUTH ST	TWICE C LLC	9 SOUTH ST	MANASQUAN, NJ 08736
27	5.01	1 SOUTH ST	BOROUGH OF MANASQUAN	201 E MAIN ST	MANASQUAN, NJ 08736
27	7	83 MAIN ST	83 MAIN ST PROP LLC	23 COLD INDIAN SPRINGS RD	OCEAN, NJ 07712
27	8.01	73-75-77-79 MAIN ST	SOUTH STREET ENT INC	170 HOX RD	MANASQUAN, NJ 08736
27	10.01	67-69 MAIN ST	VISITING NURSE ASSOC OF CENT JERSEY	23 MAIN ST # D1	HOLMDEL, NJ 07733
27	13.02	55 MAIN ST	SMITH, DONNA A	55 MAIN ST # 1	MANASQUAN, NJ 08736
27	13.03	57 MAIN ST	ROGERS, THOMAS & JACQUELINE	57 MAIN ST	MANASQUAN, NJ 08736
27	14.01	51-53 MAIN ST	HOWELL, LIZ R	115 ROCHELLE AVE	HOWELL, NJ 07731
27	14.02	53 1/2 N MAIN ST	MARTYN, DANIEL	53 1/2 N MAIN ST	MANASQUAN, NJ 08736
27	15	43 MAIN ST	HELMER, DAVID D	43 MAIN ST	MANASQUAN, NJ 08736
27	16	39 MAIN ST	STILLO, JOSEPH V & ELISE A	39 MAIN ST	MANASQUAN, NJ 08736
35	4.02	36 MAIN ST	RAFFETTI, ROBERT C	36 MAIN ST	MANASQUAN, NJ 08736
35	5.01	40 MAIN ST	LIBRIZZI, WILLIAM J & CAROLYN E	40 MAIN ST	MANASQUAN, NJ 08736
35	5.02	40 1/2 MAIN ST	LIBRIZZI, LANCEL	40 1/2 MAIN ST	MANASQUAN, NJ 08736
35	6	40 MAIN ST	TORTA, JAMES	40 MAIN ST	MANASQUAN, NJ 08736
35	7.01	50 MAIN ST	BROWN, LINDA J	50 MAIN ST	MANASQUAN, NJ 08736
35	7.02	19 BEAMS TER	LEYKAM, LAWRENCE & LINDA	19 BEAMS TER	MANASQUAN, NJ 08736
35	8	52 MAIN ST	MONTERO, MIGUEL C	057 IRINGTON AVE	IRLISIDE, NJ 07205
35	9.01	62 MAIN ST	WOMANS CLUD OF MANASQUAN	PO BOX 125	MANASQUAN, NJ 08736
35	11	60 MAIN ST	BOSSONE, DOMINIC J	713 HOWELL DR	IRBELLE, NJ 08720
35	12	72 MAIN ST	CYNTHIA, ROBERT & DOOLITTLE REV TRUST	634 SUMMIT PLNUE	WALL TOWNSHIP, NJ 07719
35	13	74-76-78 MAIN ST	REPKA, ROBERT	2176 GLADFIELD DR	MANASQUAN, NJ 08736
35	14	66 MAIN ST	SUI, LYAN, MICHAEL J	66 MAIN ST	MANASQUAN, NJ 08736
35	15.01	13 BROAD ST	BROAD STREET REALTY LLC	13 BROAD ST	MANASQUAN, NJ 08736
35	16.01	15 BROAD ST	MJN LLC	46 RIDGE AVE	MANASQUAN, NJ 08736



**ZONE**  
B-1 = BUSINESS ZONE  
BR-1 = BUSINESS RETAIL ZONE  
R-2 = ONE-FAMILY RESIDENTIAL  
P = PUBLIC PARKING  
O = OFFICE



**UTILITIES TO BE NOTICED**

- Jersey Central Power & Light Co  
Customer Service  
PO Box 16231  
Racine, WI 53101-4021
- Verizon  
PO Box 4833  
Trenton, NJ 08640-4833
- NJ Natural Gas Company  
1415 Wyckoff Rd  
PO Box 1375  
Wall, NJ 08778-1375
- Celanese  
1111 Stewart Ave  
Bucksport, ME 04408-5533
- NJ American Water Company  
Attn: Corporate Secretary  
133 Wackerline Rd  
PO Box 5979  
Clarey Hill, NJ 08613-5979
- Monmouth County Planning Board  
Bk of Records Access  
Freedom Plaza  
1 E Main St  
Freehold, NJ 07728-1173
- Monmouth County Highway Dept  
250 Cazier St  
Freehold, NJ 07728-2465
- Township of Wall  
Attn: Municipal Clerk  
PO Box 3153  
Wall, NJ 07719-1153
- Borough of Sea Girt  
Attn: Municipal Clerk  
PO Box 345  
Sea Girt, NJ 08550-0345
- Borough of Bristol  
Attn: Municipal Clerk  
501 Ocean Ln  
PO Box 445  
Bristol, NJ 08810-0445
- Borough of Point Pleasant Beach  
Attn: Municipal Clerk  
415 New Jersey Ave  
Pt Pleasant, NJ 08570
- State of New Jersey  
Attn: Commissioner of Transportation  
1282 Parks Ave  
Trenton, NJ 08610-1132

**PLANNING BOARD APPROVAL**

APPROVED BY THE BOROUGH OF MANASQUAN PLANNING BOARD

BOARD CHAIRPERSON	DATE
BOARD SECRETARY	DATE
BOARD ENGINEER	DATE

**CERTIFICATIONS**

<b>OWNER</b>	DATE
I, THE OWNER, CONSENT TO THE FILING OF THIS SITE PLAN WITH THE PLANNING BOARD OF THE BOROUGH OF MANASQUAN.	
<b>OWNER AND SUBSCRIBED TO BEFORE ME</b>	DATE
NOTARY PUBLIC	
<b>BOROUGH ENGINEER</b>	DATE
I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION.	
<input checked="" type="checkbox"/> <b>NOT FOR CONSTRUCTION</b>	
<input type="checkbox"/> <b>FOR CONSTRUCTION</b>	
<b>BOROUGH ENGINEER</b>	DATE
<b>BOROUGH ENGINEER</b>	DATE
TO BE SIGNED BEFORE ISSUANCE OF A BUILDING PERMIT, I HEREBY CERTIFY THAT ALL THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR A BOND POSTED IN COMPLIANCE WITH ALL APPLICABLE CODES OF ORDINANCES.	
<b>BOROUGH CLERK</b>	DATE
<b>BOROUGH ENGINEER</b>	DATE

**PROJECT INFORMATION**

67-69 MAIN STREET

BLOCK 27, LOT 10.01  
67-69 MAIN STREET  
BOROUGH OF MANASQUAN,  
MONMOUTH COUNTY, NJ

VISITING NURSE ASSOC OF CENT JERSEY  
23 MAIN ST SUITE D1  
HOLMDEL, NJ 07733

DYCAVA PROPERTIES  
67-69 MAIN STREET  
MANASQUAN, NJ 08736

**APPLICANT'S PROFESSIONALS**

**ATTORNEY:**  
MICHAEL YORK, ESQ  
ANDREW YORK, JACOBUS & DODLEY  
202 N MAIN STREET  
TOMES RIVER, NJ 08753

**ARCHITECT:**  
ROBERT A. HAZELRIGG & ASSOCIATES  
230 SUNSET AVENUE, SUITE 1  
OCEAN, NJ 07712

**SURVEYOR:**  
INSITE SURVEYING, LLC  
1555 ROUTE 34, SUITE 1A  
WALL, NJ 07719




**CERTIFICATE OF AUTHORIZATION: 24528092200**  
1555 ROUTE 34, SUITE 1A, WALL, NJ 07719  
732-521-7700 (PH) 732-521-7444 (FAX)  
Insite@InsiteEng.net www.InSiteEng.net

**PATRICK R. WARD, PE, PP**  
PROFESSIONAL ENGINEER, PLANNER  
NJPE 24528092200 NJPP 3348668500

**REVISIONS**

NO.	DATE	DESCRIPTION
1	04/22/21	REVISED DOWNSIDE INITIAL RELEASE

SCALE AS SHOWN DESIGNED BY: PRW  
DATE 04/12/21 DRAWN BY: BRK  
JOB# 21-1508-01 CHECKED BY: PRW  
APP 21-1508-01/1

**APPROVED BY:**

**FOR CONSTRUCTION**

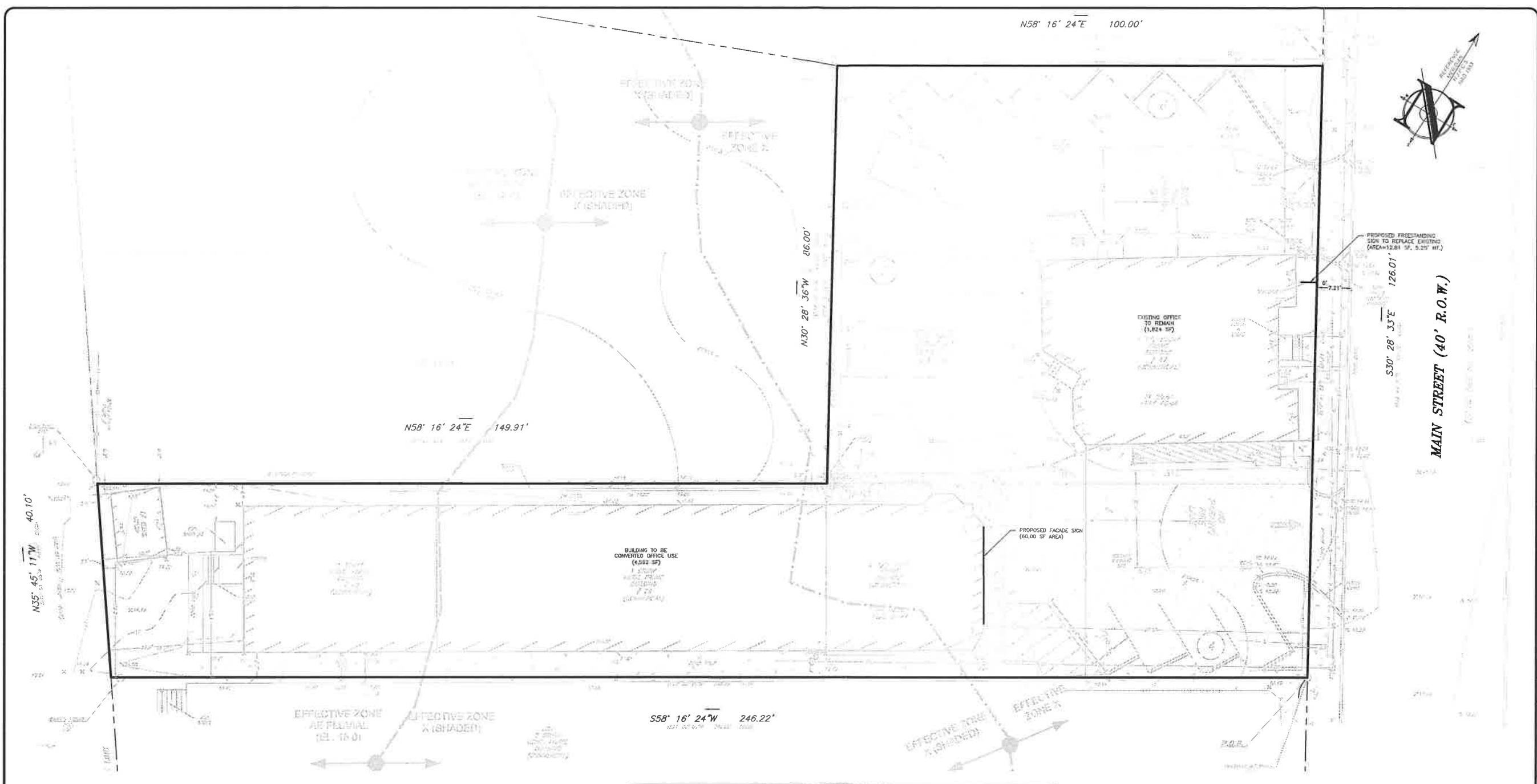
**PLANNING BOARD APPROVAL**

**ZONING PLAN**

**TITLE SHEET**

1 OF 2

FILED IN MONMOUTH COUNTY CLERK OF SUPERIOR COURT, MANASQUAN, NJ 08736, APR 26 2021, 10:15 AM, INSITE SURVEYING, LLC, 1555 ROUTE 34, SUITE 1A, WALL, NJ 07719



**PROJECT INFORMATION**

**67-69 MAIN STREET**

BLOCK 27, LOT 10 61  
67-69 MAIN STREET  
BOROUGH OF MANASQUAN  
MONMOUTH COUNTY, NJ

**VISITING NURSE ASSOC OF CENT JERSEY**  
23 MAIN ST, SUITE 01  
HOLMDEL, NJ 07733

**DYCAVA PROPERTIES**  
67-69 MAIN STREET  
MANASQUAN, NJ 08736

**APPLICANT'S PROFESSIONALS**

**ATTORNEY:**  
MICHAEL YORK, ESQ.  
NOVINS YORK JACOBUS & DODLEY  
203 N MAIN STREET  
TOMBS RIVER, NJ 08753

**ARCHITECT:**  
ROBERT A. HAZELROG & ASSOCIATES  
3430 SUNSET AVENUE, SUITE 1  
OCEAN, NJ 07712

**SURVEYOR:**  
INSITE SURVEYING, LLC  
1855 ROUTE 34, SUITE 1A  
WALL, NJ 07719

**INSITE ENGINEERING, LLC**  
SINCE 2003

CALL BEFORE YOU DIG  
NJ ONE CALL: 800-272-4800

**INSITE ENGINEERING, LLC**  
Engineering • Surveying • Planning

CERTIFICATE OF AUTHORIZATION: 2402A0002000  
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719  
732-517-7100 (PH) 732-517-7144 (FAX)  
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA  
DELAWARE, CONNECTICUT, NORTH CAROLINA,  
GEORGIA, & VIRGINIA

**PATRICK R. WARD, PE, PP**  
PROFESSIONAL ENGINEER, PLANNER  
N.J.P.E. 2405079000 N.J.P.P. 33100525800



**LEGEND**

EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WATER
INLET	INLET
STORM	STORM
SANITARY MAIN	SANITARY MAIN
SANITARY LATERAL	SANITARY LATERAL
OVERHEAD WIRE	OVERHEAD WIRE
ELECTRIC	ELECTRIC
TELEPHONE	TELEPHONE
UTILITY POLE	UTILITY POLE
HYDRANT	HYDRANT
SKIN POST	SKIN POST
FENCE	FENCE
LIGHT FIXTURE	LIGHT FIXTURE
TEST PIT LOCATION	TEST PIT LOCATION
GRADE FLOW ARROW	GRADE FLOW ARROW
SWALE CENTER LINE	SWALE CENTER LINE

**ZONING COMPLIANCE CHART**  
BUSINESS (B-1) ZONE (§ 35-5.9)  
OFFICE USE PERMITTED

ORD. SECTION	STANDARD	REQUIRED	EXISTING	PROPOSED	COMPLIES
SCHED 1	MIN. LOT AREA (SQ FT)	5,000	18,521 (0.43 AC)	NO CHANGE	YES
SCHED 1	MIN. LOT FRONTAGE (FT)	30	126.01	NO CHANGE	YES
SCHED 1	PRINCIPAL BUILDING - BUILDING #1				
SCHED 1	MIN. FRONT YARD SETBACK (FT)	10	3.0	NO CHANGE	NO (N)
SCHED 1	MIN. REAR YARD SETBACK (FT)	5	42.9	NO CHANGE	YES
SCHED 1	MIN. SIDE YARD SETBACK				
SCHED 1	SIDE EACH CORNER (FT)	5	36.7	NO CHANGE	YES
SCHED 1	SIDE EACH CORNER (FT)	7	48.0	NO CHANGE	YES
SCHED 1	MAX. BUILDING HEIGHT (FT)	40	22.54	NO CHANGE	YES
SCHED 1	MAX. BUILDING HEIGHT (STORIES)	3	1.5	NO CHANGE	YES
SCHED 1	PRINCIPAL BUILDING - BUILDING #2				
SCHED 1	MIN. FRONT YARD SETBACK (FT)	10	67.0	NO CHANGE	YES
SCHED 1	MIN. REAR YARD SETBACK (FT)	5	27.8	NO CHANGE	YES
SCHED 1	MIN. SIDE YARD SETBACK				
SCHED 1	SIDE EACH CORNER (FT)	3	4.7	NO CHANGE	YES
SCHED 1	SIDE EACH CORNER (FT)	7	5.2	NO CHANGE	NO (N)
SCHED 1	MAX. BUILDING HEIGHT (FT)	40	32.47	NO CHANGE	YES
SCHED 1	MAX. BUILDING HEIGHT (STORIES)	3	2.5	NO CHANGE	YES
35-5.9.1	ACCESSORY BUILDING - SHED #1	SIDE/REAR	REAR	NO CHANGE	YES
SCHED 1	ALLOWABLE YARD LOCATION	5	2.5	NO CHANGE	NO (N)
SCHED 1	MIN. REAR YARD SETBACK (FT)	3.7	0.8, 23.8	NO CHANGE	NO (N)
35-5.9.1	MAX. BUILDING HEIGHT (FT)	10	(N)	NO CHANGE	-
35-5.9.1	MAX. AREA (SQ FT)	100	147.6	NO CHANGE	NO (N)
35-5.9.1	ACCESSORY BUILDING - SHED #2	SIDE/REAR	REAR	NO CHANGE	YES
SCHED 1	ALLOWABLE YARD LOCATION	5	23.1	NO CHANGE	YES
SCHED 1	MIN. REAR YARD SETBACK (FT)	3.7	7.5, 23.1	NO CHANGE	YES
35-5.9.1	MAX. BUILDING HEIGHT (FT)	10	(N)	NO CHANGE	YES
35-5.9.1	MAX. AREA (SQ FT)	100	22.0	NO CHANGE	YES
SCHED 1	LOT COVERAGE	40	35.1	NO CHANGE	YES
SCHED 1	MAX. BUILDING COVERAGE (N)	60	40.0	NO CHANGE	NO (N)
SCHED 1	MAX. IMPERVIOUS COVERAGE (N)	60	40.0	NO CHANGE	NO (N)

(N) EXISTING NONCONFORMITY (I) IMPROVED CONDITION (E) EXISTING VARIANCE (V) VARIANCE / NONCONFORMITY ELIMINATED (P) PROPOSED VARIANCE (W) PROPOSED VARIANCE (U) THIS PERTAINS TO AN EXISTING STRUCTURE WHICH WAS NOT MADE AVAILABLE TO THIS OFFICE (N/A - NOT APPLICABLE) (NS - NOT SPECIFIED)

**PARKING, DRIVEWAY & LOADING COMPLIANCE CHART (§ 35-13)**

ORD. SECTION	STANDARD	REQUIRED	EXISTING	PROPOSED	COMPLIES
35-13.2	STALL SIZE (FT)	8 X 18	8 X 18	NO CHANGE	YES
35-13.4	NUMBER OF PARKING SPACES	7420 SF / 300 = 24.7 SPACES	15 SPACES	NO CHANGE	NO (N)
35-13.2	USE 1 PER 300 SF OF FLOOR AREA				
35-13.2	MIN. AISLE WIDTH (ONEWAY) PARKING (FT)	14	17.8	NO CHANGE	YES
35-13.3	MIN. SIDE/REAR SETBACK (FT)	5	0.2	NO CHANGE	NO (N)
35-13.3	MIN. SETBACK TO R.O.W. (FT)	5	3.3	NO CHANGE	NO (N)
35-13.3	MIN. SETBACK TO RESIDENTIAL ZONE (FT)	15	0.2	NO CHANGE	NO (N)

(N) EXISTING NONCONFORMITY (I) IMPROVED CONDITION (E) EXISTING VARIANCE (V) VARIANCE / NONCONFORMITY ELIMINATED (P) PROPOSED VARIANCE (W) PROPOSED VARIANCE (U) THIS PERTAINS TO AN EXISTING STRUCTURE WHICH WAS NOT MADE AVAILABLE TO THIS OFFICE (N/A - NOT APPLICABLE) (NS - NOT SPECIFIED)

**SIGNAGE COMPLIANCE CHART (§ 35-25)**

ORD. SECTION	STANDARD	REQUIRED	EXISTING	PROPOSED	COMPLIES
35-25.2.1	FAÇADE SIGN	1	1	NO CHANGE	YES
35-25.2.1	MAX. NUMBER OF SIGNS PER FACE OF BUILDING	1	1	NO CHANGE	YES
35-25.2.1	MAX. AREA IS 2 SF PER FT OF BUILDING FRONTAGE	2 SF X 30 LF = 60	60.00	NO CHANGE	YES
35-25.2.1	BUILDING #	(N)	(N)	NO CHANGE	YES
35-25.2.1	MAX. PROJECTION (IN)	18	1.5	NO CHANGE	YES
35-25.2.2	PRESTANDING SIGN	10	(N)	NO CHANGE	NO (N)
35-25.2.2	MAX. HEIGHT (FT)	9	(N)	NO CHANGE	NO (N)
35-25.2.2	MIN. SETBACK TO CURBLINE (FT)	10	7.21	NO CHANGE	NO (N)
35-25.2.2	MIN. DISTANCE TO GROUND (IN)	8	(N)	NO CHANGE	NO (N)
35-25.2.2	MAX. TOTAL AREA (SQ FT)	100	72.51	NO CHANGE	YES

(N) EXISTING NONCONFORMITY (I) IMPROVED CONDITION (E) EXISTING VARIANCE (V) VARIANCE / NONCONFORMITY ELIMINATED (P) PROPOSED VARIANCE (W) PROPOSED VARIANCE (U) THIS PERTAINS TO AN EXISTING STRUCTURE WHICH WAS NOT MADE AVAILABLE TO THIS OFFICE (N/A - NOT APPLICABLE) (NS - NOT SPECIFIED)

**REVISIONS**

NO.	DATE	REVISION

SCALE AS SHOWN  
DATE 04/12/21  
JOB# 21-1608-01  
CAD# 21-1608-01r1  
 NOT FOR CONSTRUCTION

APPROVED BY: \_\_\_\_\_  
FOR CONSTRUCTION

**PLAN INFORMATION**

**ZONING PLAN**

PLAN

2 OF 2

File: X:\data\1008 - Compliance Inquiries\Borough\21-1608-01 - 67-69 Main Street\Manasquan, NJ\110801000\plan\01-plan.dwg - 08 - 08 - 2021 - 10:00 AM - Insite Engineering, LLC. All Rights Reserved.





TWO SIDED 41" X 45" MAIN ID SIGN 1" THICK PVC FACE WITH CARVED LETTERS.  
 APPLIED LOGO PLAQUE WITH CARVED "C" 3" WIDE TOP & BOTTOM TRIM CAPS.  
 4 X 4 PVC POSTS WITH STRUCTURAL INSERTS. 3 COLORS MATTHEWS URETHANE PAINT.  
 INSTALLATION WITH CONCRETE. ( SAME SIZE & FOOTPRINT AS EXISTING SIGN )

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CLIENT: CAPSTONE INSURANCE MANASQUAN, NJ

DATE: 7-20-21

CLASSIC & CONTEMPORARY SIGN SYSTEMS • TRUCK LETTERING

TEL: 732-919-1111 FAX: 732-919-7888

1635 US Highway 9 Howell, NJ 07731



20' x 3' EXTERIOR WALL SIGN. 1.5" THICK HIGH DENSITY URETHANE.  
3" THICK 35" X 35" CENTER PANEL. CARVED LETTERS WITH GRAY FILL.  
THREE COLORS MATTHEWS URETHANE PAINT.

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CLIENT: CAPSTONE INSURANCE MANASQUAN, NJ

DATE: 7-22-21

CLASSIC & CONTEMPORARY SIGN SYSTEMS • TRUCK LETTERING

TEL: 732-919-1111

FAX: 732-919-7888

1635 US Highway 9 Howell, NJ 07731




# BOUNDARY & TOPOGRAPHIC SURVEY

OF  
BLOCK 27, LOT 10.01  
67-69 MAIN STREET

SITUATED IN:  
**BOROUGH OF MANASQUAN,  
MONMOUTH COUNTY,  
NEW JERSEY**

PREPARED FOR:




InSite Surveying, LLC  
 CERTIFICATE OF AUTHORIZATION:  
 24GA28290100  
 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719  
 732-531-7100 (Ph) 732-531-7344 (Fax)  
 InSite@InSiteSurveying.net  
 www.InSiteSurveying.net

REVISIONS		
Rev #	Date	Comment
1	04/01/21	ADD SIGNAGE, STRIPING & FLOOD
0	03/24/21	INITIAL RELEASE

SCALE: 1"=20'  
 DATE: 03/10/21  
 JOB #: 20-S001-428

### CERTIFICATION

CERTIFIED TO:  
 DYCVA PROPERTIES, LLC  
 TD BANK, N.A. ISAOA/ATIMA  
 AGENTS ABSTRACT TITLE AGENCY, LLC  
 NOVINS, YORK, JACOBUS & DOOLEY

SURVEY NOTES:  
 THIS IS TO CERTIFY THAT THIS SURVEY IS ACCURATE, AND THAT THIS DRAWING IS A TRUE REPRESENTATION OF ACTUAL CONDITIONS EXISTING ON THE PROPERTY, EXCEPT SUCH EASEMENTS, IF ANY, THAT MAY BE LOCATED BELOW THE SURFACE OF THE LANDS, OR ON THE SURFACE OF THE LANDS AND NOT VISIBLE.

A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003.C.14 (C45:8-36.3) AND N.J.A.C. 13:40 - 5.1(D).

THIS SURVEY HAS NOT DETERMINED THE PRESENCE OF WETLANDS AT THE SITE.

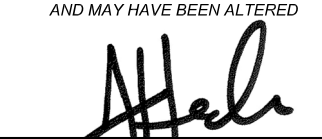
SUBJECT PROPERTY IS LOCATED IN FEMA PRELIMINARY FLOOD ZONE X, X SHADED & AE FLUVIAL ELEVATION 16.0 PER FLOOD HAZARD DATA DATED 1-30-15. SUBJECT PROPERTY IS LOCATED IN FEMA EFFECTIVE FLOOD ZONE X, X SHADED & AE FLUVIAL ELEVATION 16.0 PER FLOOD HAZARD DATA DATED 9-25-2009.

SURVEY MAP REFERENCES:  
 A MAP ENTITLED, "BOUNDARY SURVEY OF BLOCK 27, LOT 10.01 67-69 MAIN STREET BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY", BY INSITE SURVEYING LLC., DATED 12/17/20.

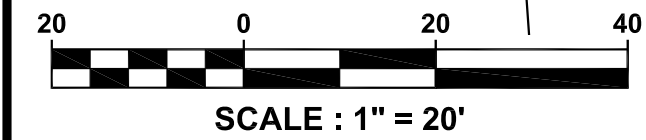
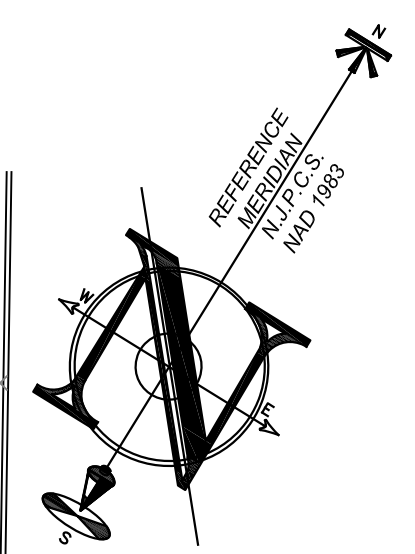
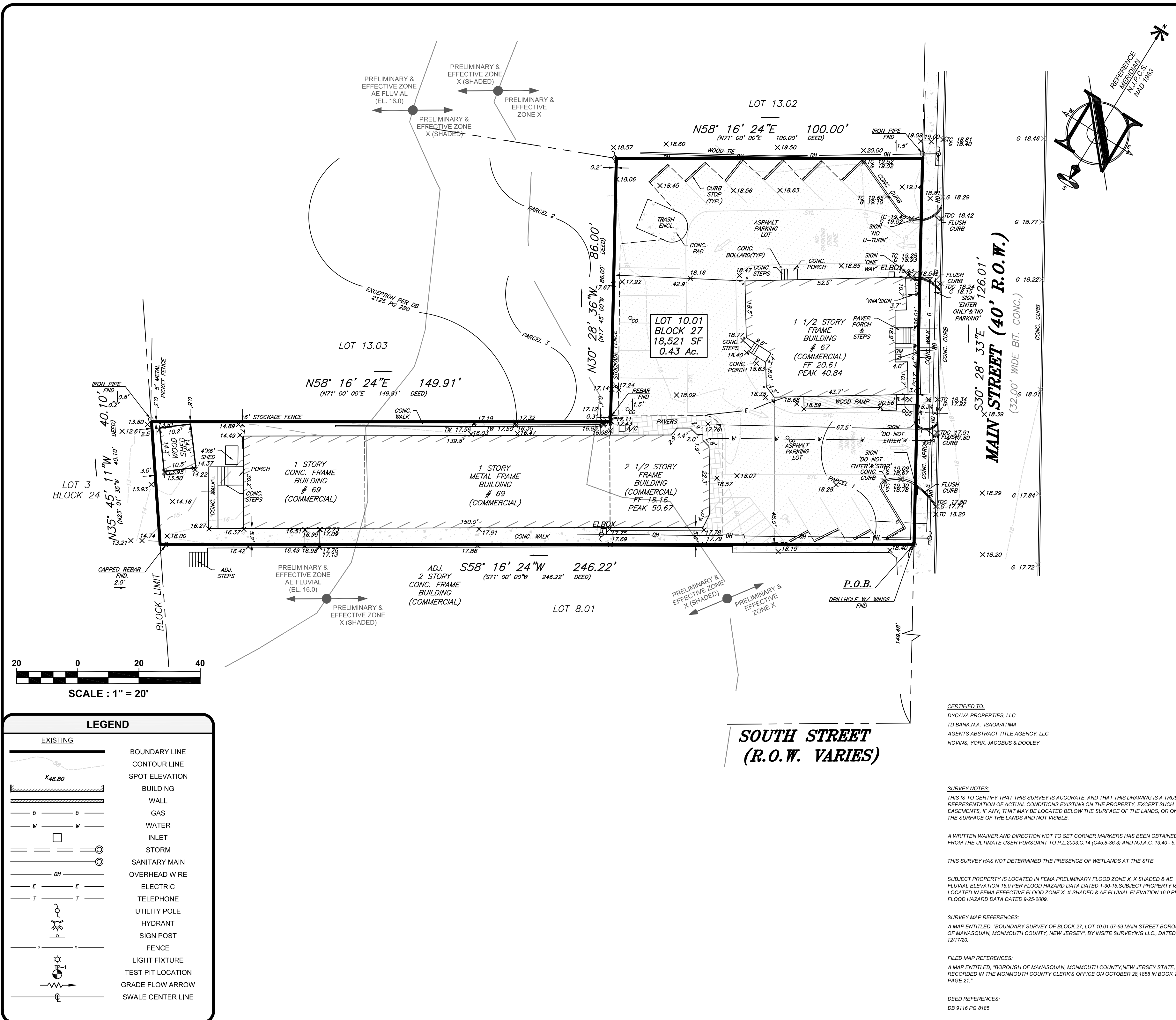
FILED MAP REFERENCES:  
 A MAP ENTITLED, "BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY STATE, RECORDED IN THE MONMOUTH COUNTY CLERK'S OFFICE ON OCTOBER 28, 1858 IN BOOK 149, PAGE 21."

DEED REFERENCES:  
 DB 9116 PG 8185

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL AND MAY HAVE BEEN ALTERED



**JUSTIN J. HEDGES, P.L.S.**  
 PROFESSIONAL LAND SURVEYOR  
 NJ LIC. NO. GS43362



LEGEND	
	BOUNDARY LINE
	CONTOUR LINE
	SPOT ELEVATION
	BUILDING
	WALL
	GAS
	WATER
	INLET
	STORM
	SANITARY MAIN
	OVERHEAD WIRE
	ELECTRIC
	TELEPHONE
	UTILITY POLE
	HYDRANT
	SIGN POST
	FENCE
	LIGHT FIXTURE
	TEST PIT LOCATION
	GRADE FLOW ARROW
	SWALE CENTER LINE

File: S:\Jobs\5001 - InSite Engineering\21-S001-428 - 67-69 Main Street Manasquan, NJ\21S001428.dwg - Survey.dwg, ---> 18x24 - BTU  
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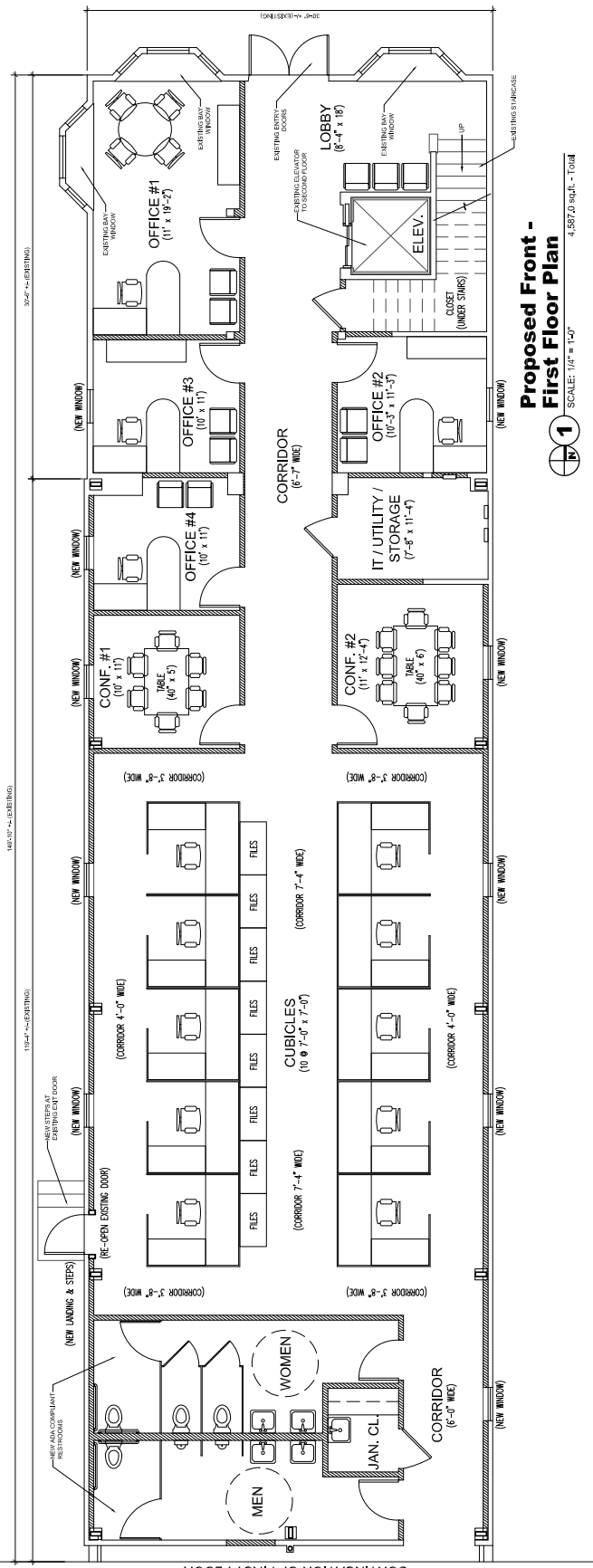
THE EXAMINEE AND SPECIFICATIONS ARE AS SHOWN ON THE ARCHITECT'S DRAWINGS AND SHALL BE CONSIDERED TO BE THE BASIS OF THE CONTRACT. THE ARCHITECT'S DRAWINGS SHALL BE CONSIDERED TO BE THE BASIS OF THE CONTRACT. THE ARCHITECT'S DRAWINGS SHALL BE CONSIDERED TO BE THE BASIS OF THE CONTRACT.

ALTERATIONS TO EXISTING COMMERCIAL BUILDING  
 Capstone Insurance, LLC  
 67 Main Street  
 Mansquan, NJ

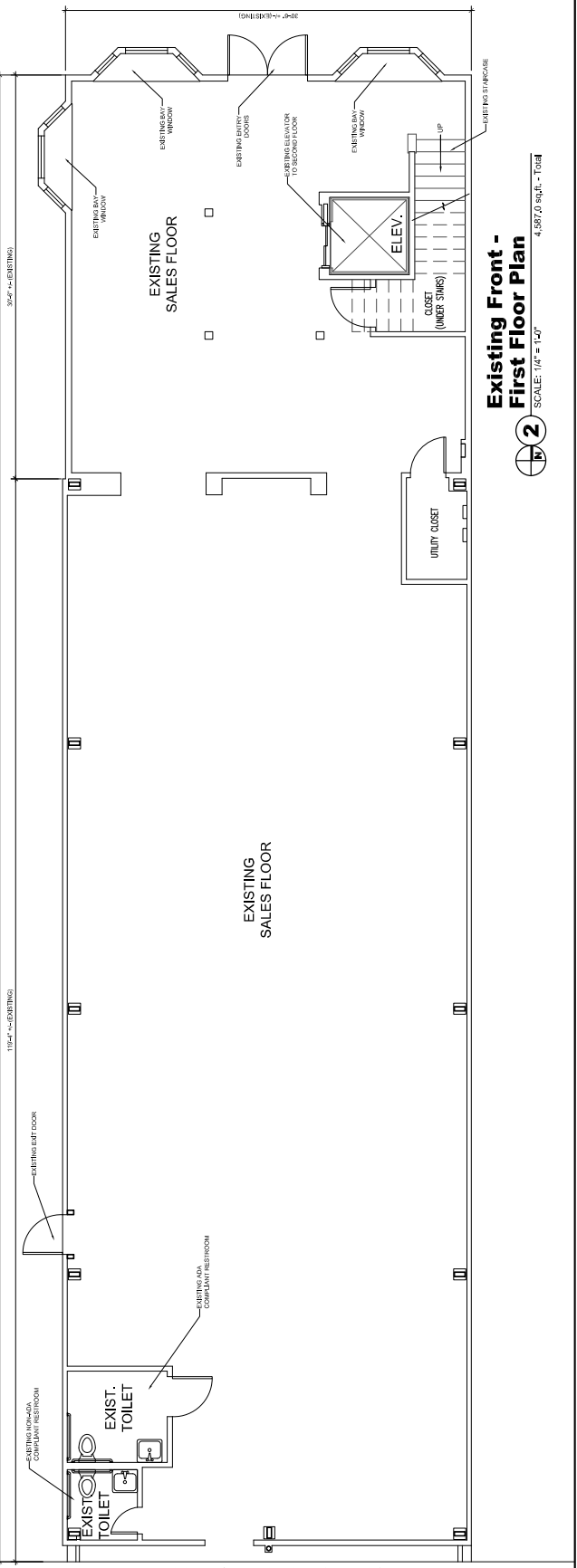
REVISION ISSUE	DATE	BY	APP'D BY

P1.0  
 SHEET

Item 4.



**Proposed Front - First Floor Plan**  
 SCALE: 1/4" = 1'-0"  
 4,587.0 sq.ft. - Total

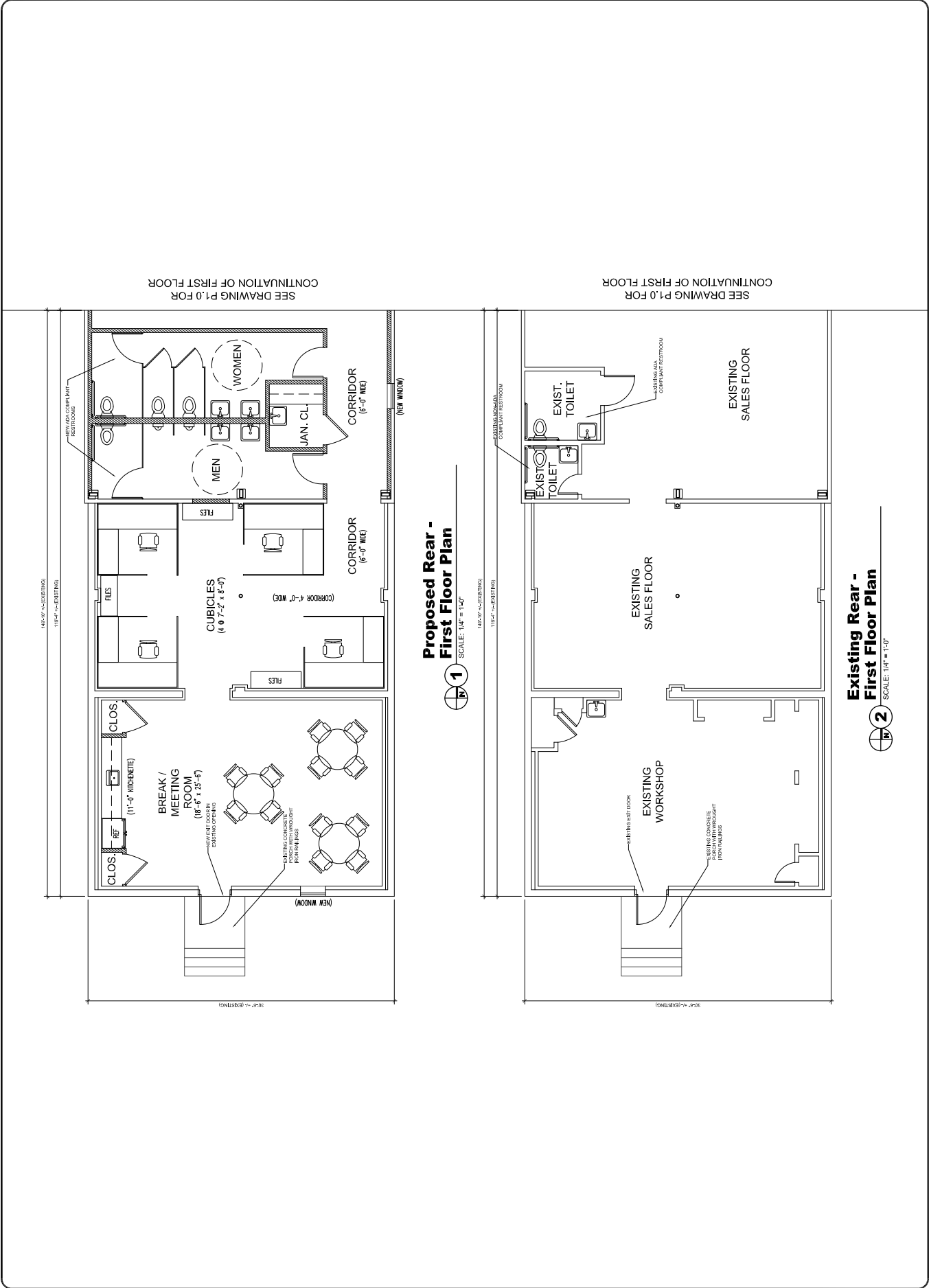


**Existing Front - First Floor Plan**  
 SCALE: 1/4" = 1'-0"  
 4,587.0 sq.ft. - Total

SEE DRAWING P1.1 FOR CONTINUATION OF FIRST FLOOR

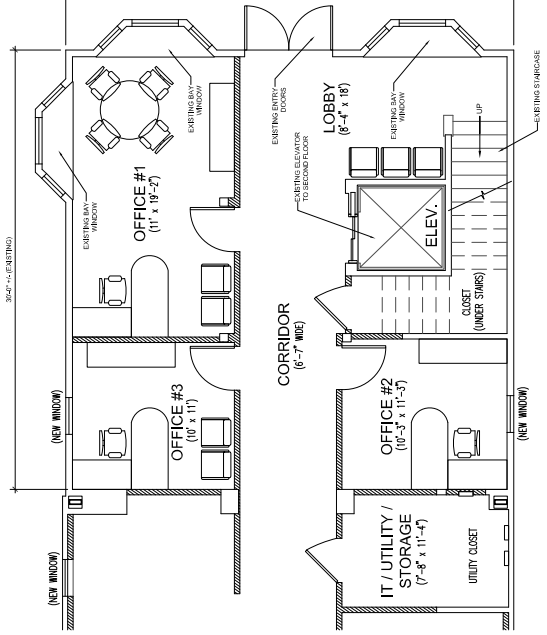


REVISION	DATE	BY	ISSUED FOR

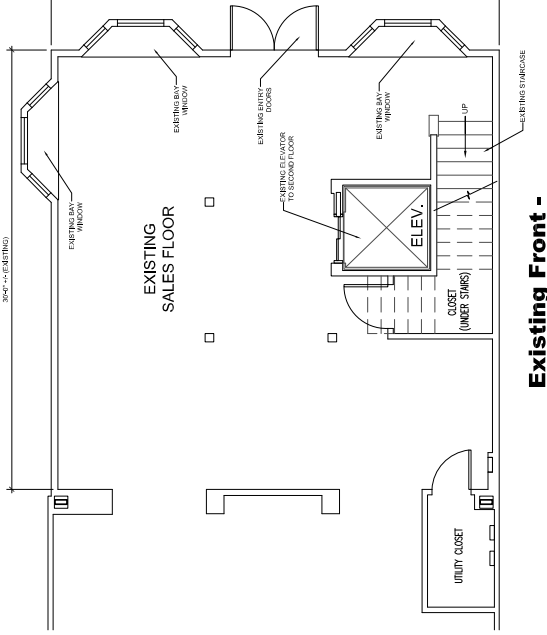




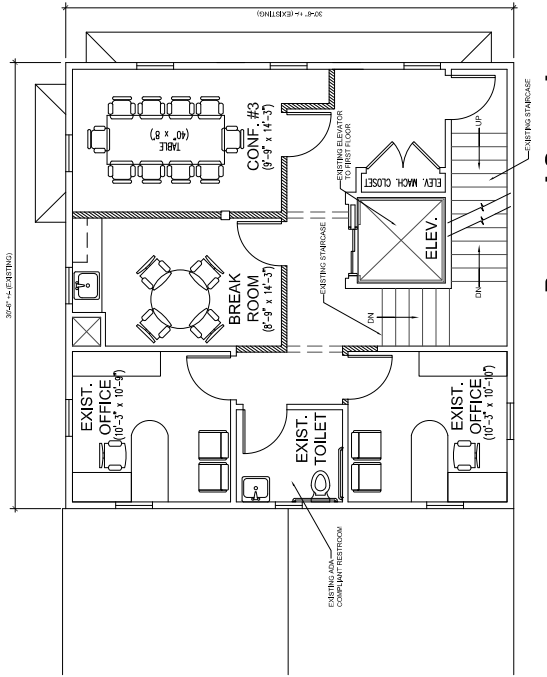
REVISION ISSUE	
DATE:	06/03/2011
SCALE:	AS SHOWN
PROJECT NO.:	2008204
SHEET	P1.2



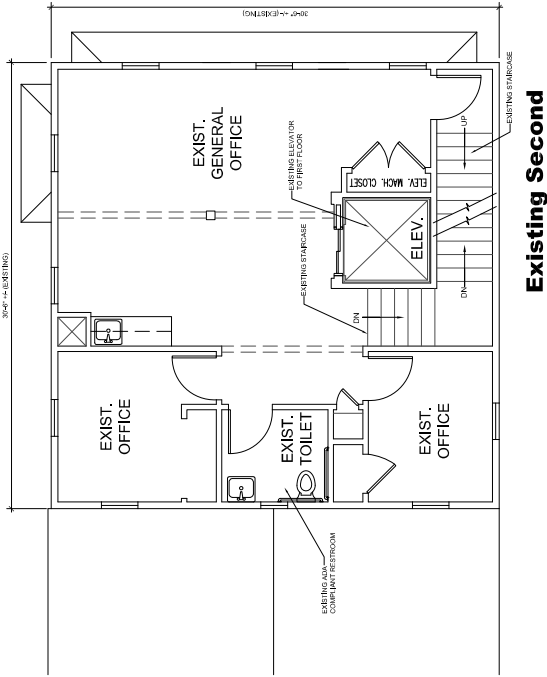
**Proposed Front - First Floor Plan**  
 SCALE: 1/4" = 1'-0"  
 4,587.0 sq.ft. - Total



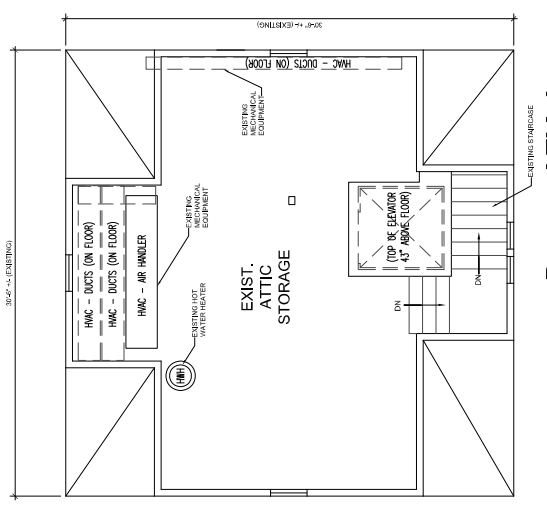
**Existing Front - First Floor Plan**  
 SCALE: 1/4" = 1'-0"  
 4,587.0 sq.ft. - Total



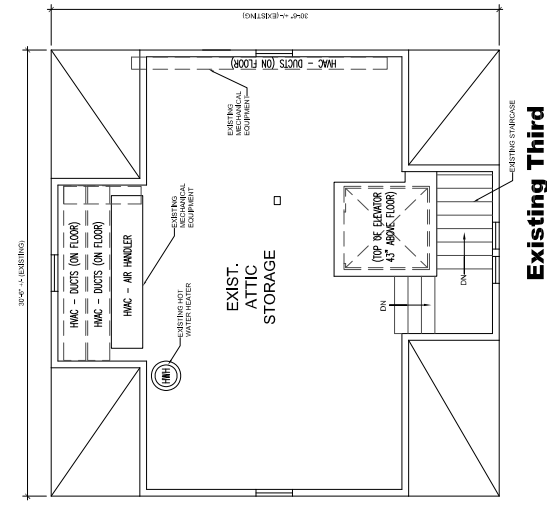
**Proposed Second Floor Plan**  
 SCALE: 1/4" = 1'-0"  
 929.0 sq.ft.



**Existing Second Floor Plan**  
 SCALE: 1/4" = 1'-0"  
 929.0 sq.ft.



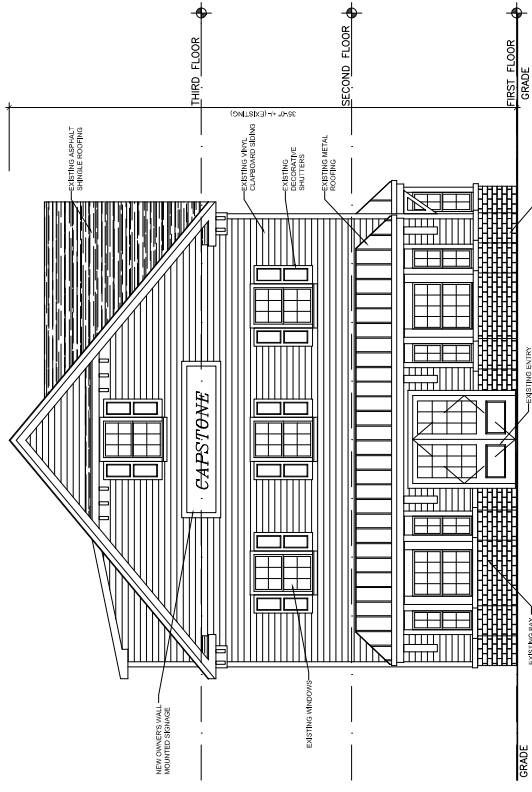
**Proposed Third Floor Plan**  
 SCALE: 1/4" = 1'-0"  
 654.0 sq.ft.



**Existing Third Floor Plan**  
 SCALE: 1/4" = 1'-0"  
 654.0 sq.ft.

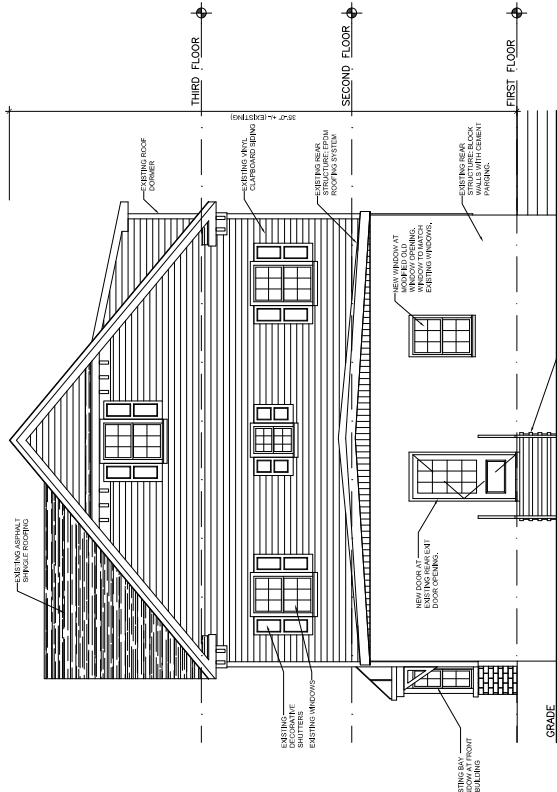


REVISION ISSUE	
DATE:	06/24/2021
SCALE:	AS SHOWN
PROJECT NO.:	202024
SHEET	



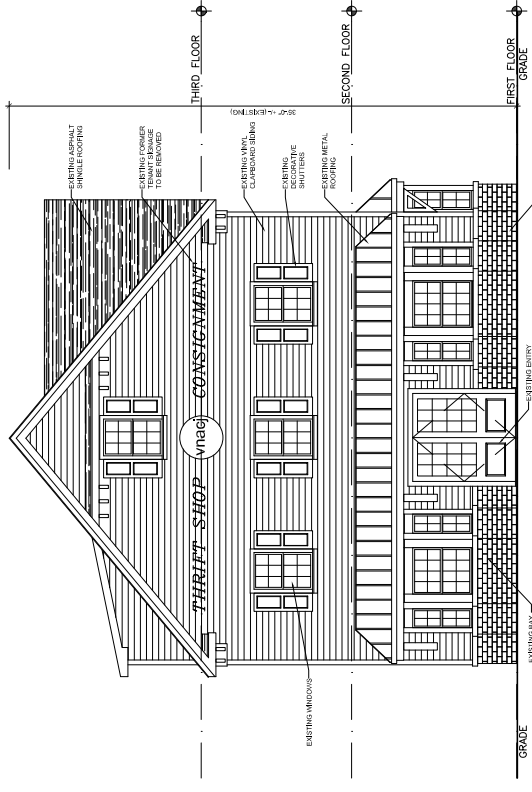
**Proposed Front (North) Elevation**  
 ② SCALE: 1/4" = 1'-0"

NOTE:  
 EXISTING EXTERIOR FINISHES TO BE CLEANED / PAINTED / REPLACED IN KIND, TO LIKE NEW CONDITION.

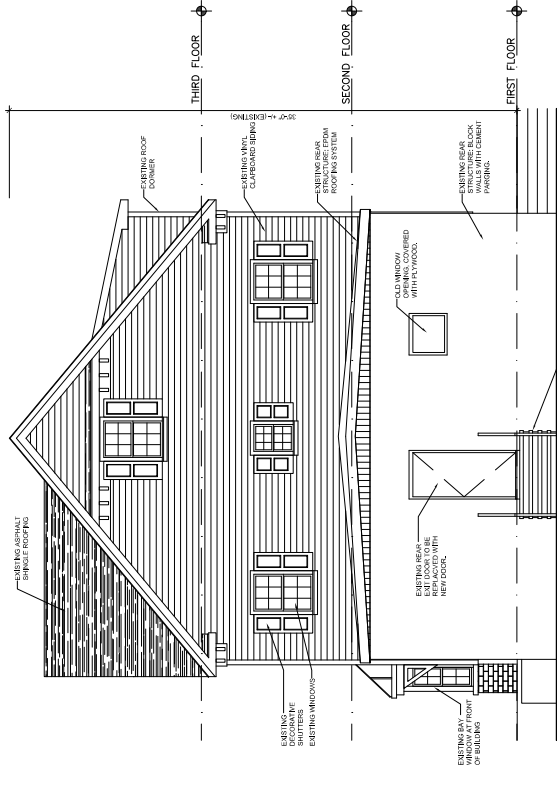


**Proposed Rear (South) Elevation**  
 ④ SCALE: 1/4" = 1'-0"

NOTE:  
 EXISTING EXTERIOR FINISHES TO BE CLEANED / PAINTED / REPLACED IN KIND, TO LIKE NEW CONDITION.



**Existing Front (North) Elevation**  
 ① SCALE: 1/4" = 1'-0"



**Existing Rear (South) Elevation**  
 ③ SCALE: 1/4" = 1'-0"

NOTE:  
 EXISTING EXTERIOR FINISHES TO BE CLEANED / PAINTED / REPLACED IN KIND, TO LIKE NEW CONDITION.

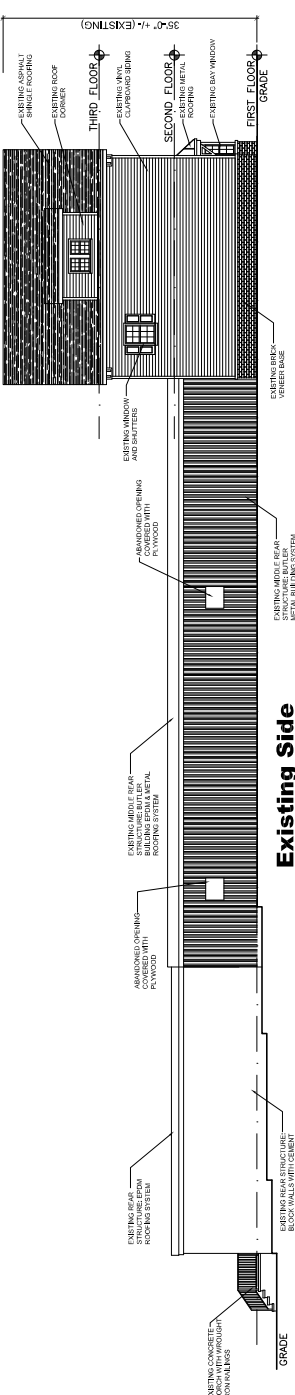
REVISION ISSUE
DATE: 06/29/2011
SCALE: AS NOTED
PANEL NO.: 2002/3
SHEET

Alterations to Existing Commercial Building  
 Capstone Insurance, LLC  
 67 Main Street  
 Mansquan, NJ  
 EXISTING & PROPOSED EXTERIOR ELEVATIONS

THE DRAWINGS AND SPECIFICATIONS ARE AS SHOWN ON THESE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.  
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 PROJECT NO. 10072



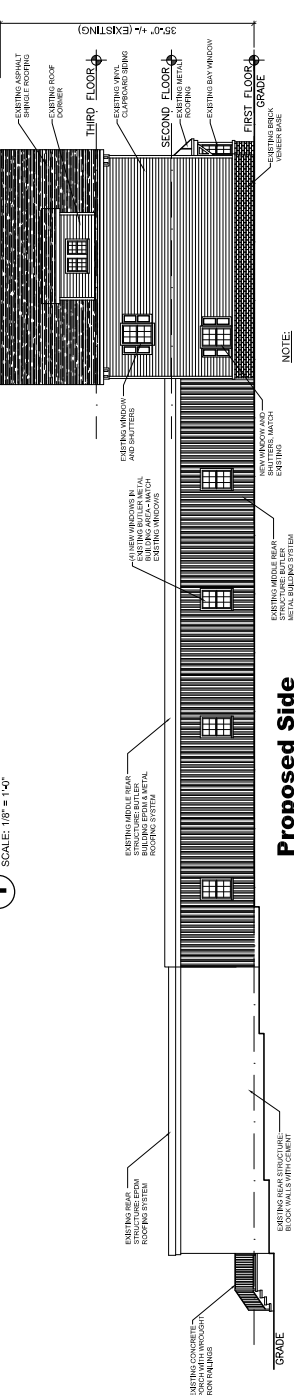
**Robert A. Hazeltig & Associates, Architects**  
 3430 Sunset Avenue, Suite 1  
 Ocean Township, New Jersey 07712  
 (732) 859-1152  
 Thomas F. Lavin, AIA NJ - AI 17755  
 Robert A. Hazeltig, AIA NJ - AI 17755



**Existing Side (East) Elevation**  
 SCALE: 1/8" = 1'-0"

1

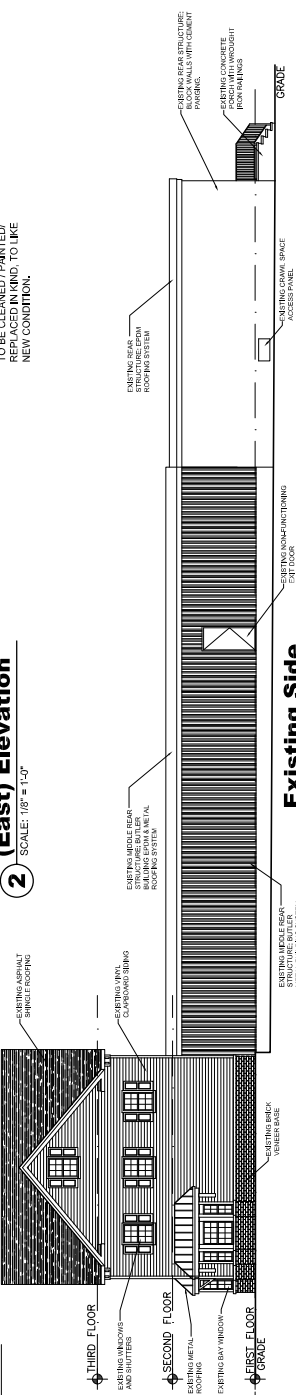
NOTE: EXISTING EXTERIOR FINISHES TO BE REPLACED IN KIND, TO LIKE NEW CONDITION.



**Proposed Side (East) Elevation**  
 SCALE: 1/8" = 1'-0"

2

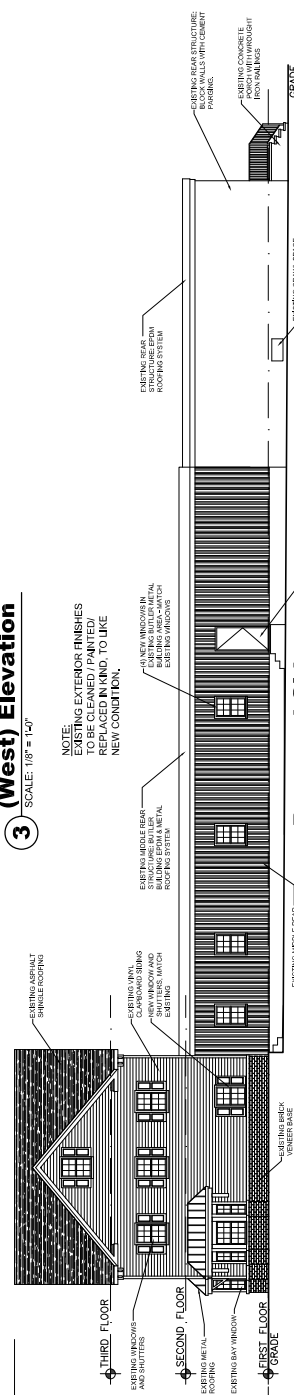
NOTE: EXISTING EXTERIOR FINISHES TO BE REPLACED IN KIND, TO LIKE NEW CONDITION.



**Existing Side (West) Elevation**  
 SCALE: 1/8" = 1'-0"

3

NOTE: EXISTING EXTERIOR FINISHES TO BE REPLACED IN KIND, TO LIKE NEW CONDITION.



**Proposed Side (West) Elevation**  
 SCALE: 1/8" = 1'-0"

4

NOTE: EXISTING EXTERIOR FINISHES TO BE REPLACED IN KIND, TO LIKE NEW CONDITION.

BOROUGH HALL  
201 EAST MAIN STREET

EDWARD G. DONOVAN  
Mayor

THOMAS F. FLARITY  
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT

BOROUGH OF MANASQUAN  
COUNTY OF MONMOUTH  
NEW JERSEY 08736

732-223-0544  
Fax 732-223-1300

FRANK DiROMA  
Supervisor of Code Enforcement

ALBERT "SANDY" RATZ  
Construction Official

APPLICATION TO THE PLANNING BOARD

Applicant's Name Salt Air Properties LLC

Applicant's Address 10851 Gulf Shore Drive, #802, Naples, FL 34108

Telephone Number James Miller - 201-280-4894; Jeff Miller - 646-379-0837  
(Home and Cell) brahee@msn.com jcmiller218@gmail.com

Property Location 42 First Avenue & 43 Beachfront, Manasquan, NJ 08736  
Block: 165 Lot 15.01

Type of Application Bulk Variance & Appeal of Portion of Zoning Officer's Decision  
Bulk Variance, Non-Permitted Use - Conditional Use - Subdivision - Minor  
Subdivision - Major - Site Plan Approval

Date of Zoning Officer's Denial Letter 5/12/2021 (Received in Mail on 5/17/2021)  
Zoning Permit Application Attached

Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

Is the Applicant the Landowner? Yes  
Does the Applicant own any adjoining land? No  
Are the property Taxes paid to date? Yes  
Have there been any previous applications to the Planning Board concerning this property? None Known  
(Attach copies)

Have there been any previous applications to the Planning Board. If there were please attach copies.



Are there any Deed Restrictions, easements, or covenants affecting this property and if so please attach No, but there is a mutual access easement that will NOT be affected

The applicant agrees to be responsible for and pay the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter.

Signature of Applicant or Agent \_\_\_\_\_

Date \_\_\_\_\_

Extent of Appeal of Zoning Officer's Decision:

A. Zoning Officer determined that proposal is 3 stories where 2 1/2 stories is permitted, and Half Story as proposed is 63.5% where 60% permitted. Applicant's calculations of the proposed Half Story is 58.5% for the 42 First Avenue dwelling and 53.1% for the 43 Beachfront dwelling, measured using the "finished area of an attic wher the intersection of the roof and the exterior wall occurs within four (4) inches of the floor/cieling system at a cieling height of five (5) feet or more.

B. Zoning Officer determined that a "Dormer setback" of 2' is required where 0' proposed, but Applicant is not proposing a dormer. The roof is a cross gambrel roof, similar to a cross gable, and there are not any dormers proposed.

Alternatively, the Applicant seeks bulk variance relief from either or both of these conditions based upon the Zoning Officer's determination.

Applicant also seeks bulk variance relief as follows:

1. Lot Frontage of 26' existing and proposed, whereas 30' required.
2. Building Coverage of 47.2% proposed, whereas 47% is existing and 35% is permitted.
3. 43 Beachfront - Side yard setback to North side and South Side of 3' proposed where 2.3' exists at North Side and 2.9' exists at South Side, while 5' is permitted.
4. 43 Beachfront - Building Height of 39' proposed where 33' permitted from the monumented height of the Boardwalk several hundred yards away. A 40:55D-70(d)(6) variance is requested for this relief, along with any bulk variance as necessary.
5. 42 First Avenue - Side Yark Setback to North side and South side of 3' proposed where 0.4' exists at North Side and 4.6' exists at South side, while 5' is permitted.

Applicant seeks any and all additional variances and/or waivers as may be required by the Borough of Manasquan Planning Board.

*Jeffrey P. Beekman* 6/2/2021  
Attorney for Applicant

Jeffrey P. Beekman, Esq.  
An Attorney at Law  
State of NJ



BOROUGH HALL  
201 EAST MAIN STREET

EDWARD G. DONOVAN  
Mayor

THOMAS F. FLARITY  
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT

**BOROUGH OF MANASQUAN**  
COUNTY OF MONMOUTH  
NEW JERSEY 08736

732-223-0544  
Fax 732-223-1300

FRANK F. DiROMA  
Supervisor of Code Enforcement

STEVEN J. WINTERS  
Construction Official

May 12, 2021

Mary Hearn, Architect  
1007B Main Street  
Belmar, NJ 07719

Re: Block: 165 Lot: 15.01 Zone: R-4 Flood Zone: VE BFE: 16ft. DFE: 17ft.  
43 Beachfront – 42 First Avenue

Dear Ms. Hearn:

On this date we reviewed your application for the following project.

Remove all of the structures on the property and construct a new three story single family dwelling fronting on the beachfront and a two story garage apartment fronting on First Avenue.

Survey prepared by Paul Lynch on January 8, 2021. Plot plan and conceptual building plans prepared by Mary Hearn on April 27, 2021.

**Application denied for the following reason(s):**

**Site:**

Section 35-9.4 – Lot Frontage – 30ft. Required  
26ft. Existing

“ - Building Coverage – 35% Permitted  
47.2% Proposed

**43 Beachfront:**

Section 35-9.4 – Side Setback (North) – 5ft. Required  
3ft. Proposed

- “ - Side Setback (South) – 5ft. Required  
3ft. Proposed
- “ - Building Height – 33ft. Permitted  
39ft. Proposed
- “ - Number of Stories – 2 ½ Stories permitted  
3 Stories proposed

Section 35-3 – Half Story – 60% Permitted  
63.5% Proposed

- “ - Dormer Setback – 2ft. Required  
.0ft. Proposed


**42 First Avenue:**

Section 35-9.4 – Side Setback (North) – 5ft. Required  
3ft. Proposed

- “ - Side Setback (South) – 5ft. Required  
3ft. Proposed

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey  
Zoning/Code Enforcement Officer

**PAUL K. LYNCH**  
**LAND SURVEYORS**  
P.O. BOX 1453  
WALL, NEW JERSEY 07719  
PHONE (732) 681-4035  
EMAIL- pklynchis @ gmail.com

**\* SURVEYORS REPORT 570321165-15.01 \***

March 11, 2021

Mary Hearn  
Architect  
M.B. Hearn Architecture, LLC  
1007 B Main Street  
Belmar, N.J. 07719

Reference:

PLJT Associates, LLC  
43 Beachfront  
Tax Map Lot 15.01 Block 165  
Manasquan Borough, N.J.

Dear Ms. Hearn:

The elevation of the north end of the beachfront walk at SeaWatch beach is **13.90** NAVD 1988 which is the reference datum for the topographic survey of the above lot dated 1-08-2021.

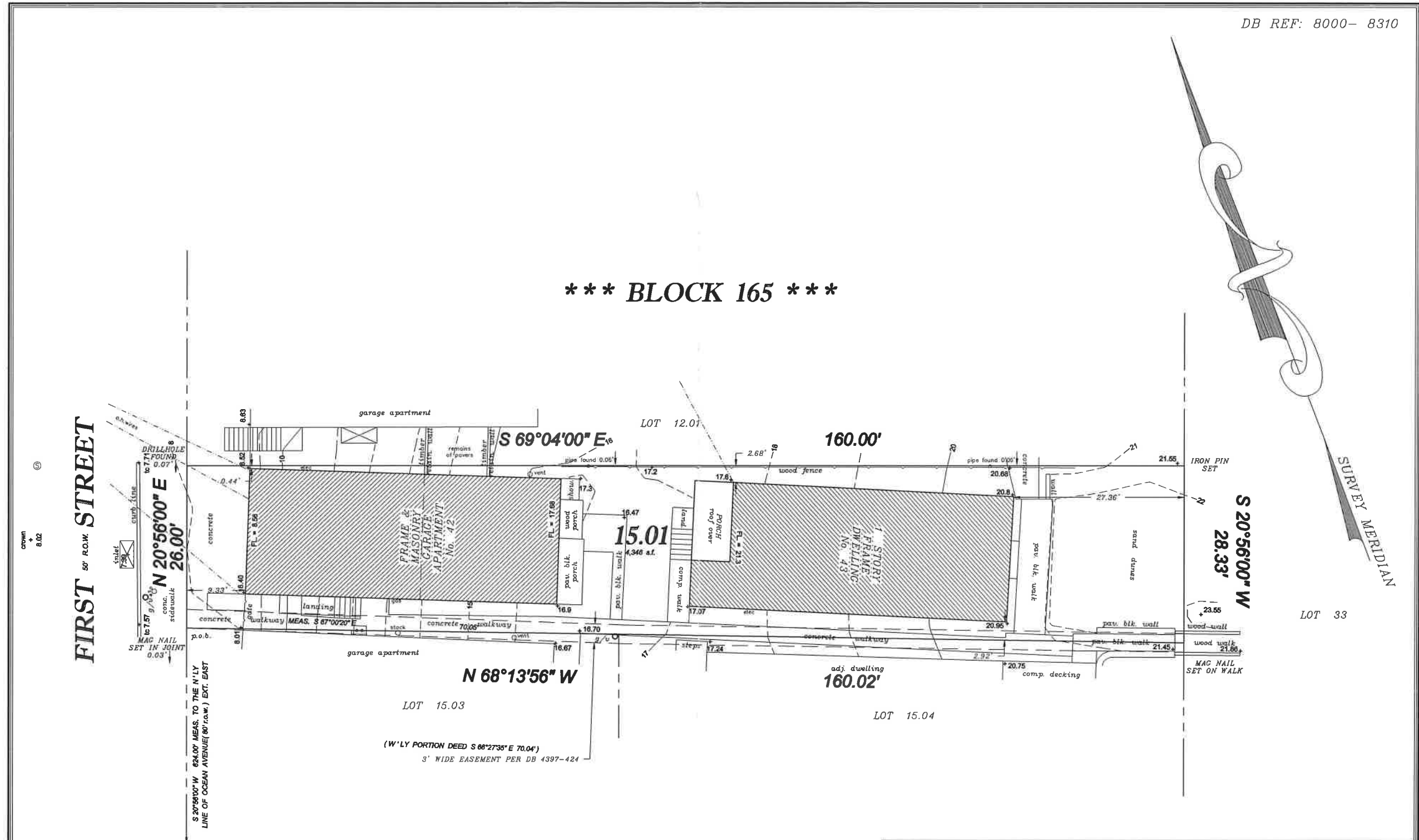
If you have questions or clarifications please feel free to call our office.

Sincerely yours,

  
Paul K. Lynch LS

DB REF: 8000- 8310

\*\*\* BLOCK 165 \*\*\*



FIRST STREET 50' ROW

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PREMISES SURVEYED SUBJECT TO EASEMENTS OF RECORD IDENTIFIED BY A TITLE SEARCH AND NOT SHOWN HEREON.

ANY OBJECT BENEATH AND NOT VISIBLE ON THE SURFACE OF THE EARTH OF THE LOT AND PREMISES SURVEYED AND SHOWN HEREON HAS NOT BEEN LOCATED.

GRAPHIC SCALE

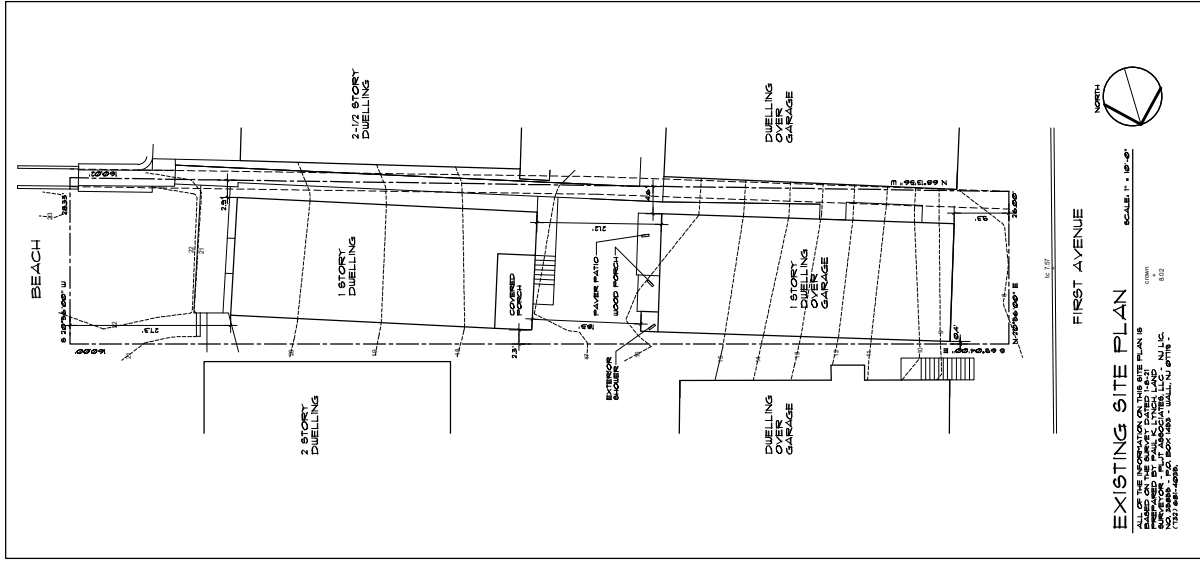


( IN FEET )  
1 inch = 10 ft.

TOPOGRAPHIC SURVEY  
FOR  
**PLJT ASSOCIATES, LLC**

SITUATE IN THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY  
KNOWN AND DESIGNATED AS LOT 15.01 BLOCK 165 AS SHOWN ON THE  
TAX MAP OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY

	<b>PAUL K. LYNCH</b>	Date: 1-08-21
	LAND SURVEYOR & BOUNDARY CONSULTANT P.O. BOX 1453 WALL, N.J. 07719 (732)681-4035 PKLYNCHLS@GMAIL.COM	Scale: 1"= 10'
	<i>Paul Lynch</i>	FB: 108018
	NEW JERSEY PROFESSIONAL LAND SURVEYOR LICENSE No. 35855	File: 571220165-15.01 Drawing: C190757



**EXISTING ZONING DATA:**

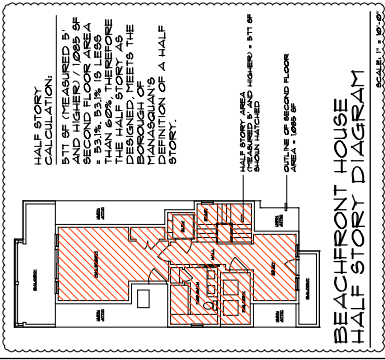
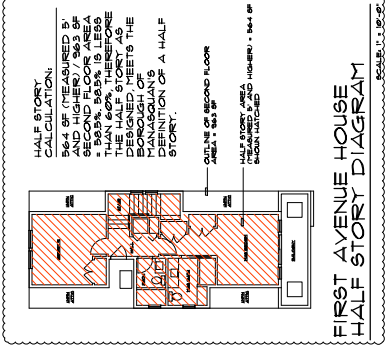
**SITE AREA:** 4,246 SF

**BUILDING COVERAGE:** 802 SF BEACHFRONT DWELLING, 1,008 SF BEACHFRONT DWELLING, 1,436 SF FIRST AVENUE DWELLING, TOTAL: 3,246 SF = 76.4%

**LOT COVERAGE:** 802 SF BEACHFRONT DWELLING, 1,008 SF BEACHFRONT DWELLING, 1,436 SF FIRST AVENUE DWELLING, 1,008 SF BEACHFRONT DWELLING, 1,008 SF FIRST AVENUE DWELLING, 1,008 SF BEACHFRONT DWELLING, 1,008 SF FIRST AVENUE DWELLING, TOTAL: 8,008 SF = 189.1%

**GROSS AREA OF BEACHFRONT DWELLING:** 802 SF FIRST FLOOR, 802 SF SECOND FLOOR, 802 SF THIRD FLOOR, 802 SF HALF STORY, TOTAL: 3,208 SF

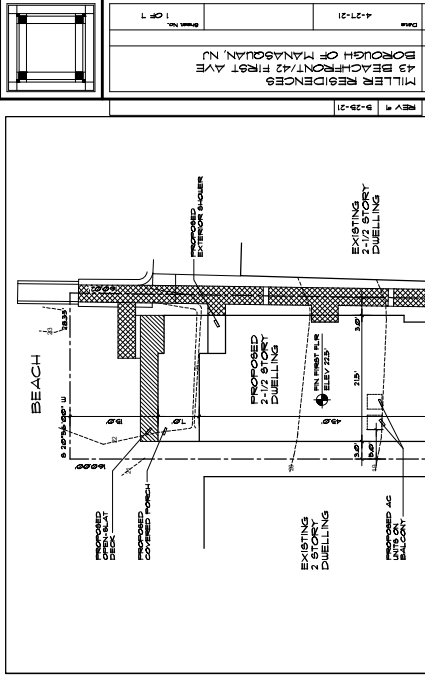
**GROSS AREA OF FIRST AVENUE DWELLING:** 1,008 SF FIRST FLOOR, 1,008 SF SECOND FLOOR, 1,008 SF THIRD FLOOR, 1,008 SF HALF STORY, TOTAL: 4,032 SF



**ZONING CHART: R-4 BEACHFRONT ZONE**

EXISTING	PROPOSED	REQUIRED
LOT AREA	4,246 SF	4,246 SF
LOT FRONTAGE	24.0 FT	24.0 FT
REAR SETBACK	10.0 FT	10.0 FT
SEPARATION DISTANCE BETWEEN DWELLINGS	10.0 FT	10.0 FT
FRONT SETBACK	10.0 FT	10.0 FT
FRONT SETBACK, FIRST AVENUE	10.0 FT	10.0 FT
REAR SETBACK	10.0 FT	10.0 FT
REAR SETBACK, BEACHFRONT	10.0 FT	10.0 FT
REAR SETBACK, NORTH	10.0 FT	10.0 FT
REAR SETBACK, SOUTH	10.0 FT	10.0 FT
BUILDING HEIGHT	35.0 FT	35.0 FT
BUILDING HEIGHT NUMBER OF STORIES	3	3
COMBINE SETBACK	10.0 FT	10.0 FT
OUTDOOR MECHANICAL EQUIPMENT SETBACK TO PROPERTY LINE	10.0 FT	10.0 FT
FRONT SETBACK	10.0 FT	10.0 FT
REAR SETBACK	10.0 FT	10.0 FT
REAR SETBACK, NORTH	10.0 FT	10.0 FT
REAR SETBACK, SOUTH	10.0 FT	10.0 FT
BUILDING HEIGHT	35.0 FT	35.0 FT
BUILDING HEIGHT NUMBER OF STORIES	3	3
COMBINE SETBACK	10.0 FT	10.0 FT
OUTDOOR MECHANICAL EQUIPMENT SETBACK TO PROPERTY LINE	10.0 FT	10.0 FT

NOTE: THE PROPOSED BUILDING HEIGHT FOR THE PROPOSED BEACHFRONT DWELLING IS MEASURED ABOVE THE CLOSEST POINT OF THE MOUNTED BEACH ELEVATION. THE EXISTING BEACHFRONT DWELLING IS MEASURED ABOVE THE CLOSEST POINT OF THE MOUNTED BEACH ELEVATION. THE EXISTING BEACHFRONT DWELLING IS 35' ABOVE BEACH ELEVATION. THE EXISTING BEACHFRONT DWELLING IS 35' ABOVE BEACH ELEVATION. THE EXISTING BEACHFRONT DWELLING IS 35' ABOVE BEACH ELEVATION.



**PROPOSED ZONING DATA:**

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**BUILDING COVERAGE:** 802 SF BEACHFRONT DWELLING, 1,008 SF BEACHFRONT DWELLING, 1,436 SF FIRST AVENUE DWELLING, TOTAL: 3,246 SF = 76.4%

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**GROSS AREA OF BEACHFRONT DWELLING:** 802 SF FIRST FLOOR, 802 SF SECOND FLOOR, 802 SF THIRD FLOOR, 802 SF HALF STORY, TOTAL: 3,208 SF

**GROSS AREA OF FIRST AVENUE DWELLING:** 1,008 SF FIRST FLOOR, 1,008 SF SECOND FLOOR, 1,008 SF THIRD FLOOR, 1,008 SF HALF STORY, TOTAL: 4,032 SF

**ZONING CHART: R-4 BEACHFRONT ZONE**

EXISTING	PROPOSED	REQUIRED
LOT AREA	4,246 SF	4,246 SF
LOT FRONTAGE	24.0 FT	24.0 FT
REAR SETBACK	10.0 FT	10.0 FT
SEPARATION DISTANCE BETWEEN DWELLINGS	10.0 FT	10.0 FT
FRONT SETBACK	10.0 FT	10.0 FT
FRONT SETBACK, FIRST AVENUE	10.0 FT	10.0 FT
REAR SETBACK	10.0 FT	10.0 FT
REAR SETBACK, BEACHFRONT	10.0 FT	10.0 FT
REAR SETBACK, NORTH	10.0 FT	10.0 FT
REAR SETBACK, SOUTH	10.0 FT	10.0 FT
BUILDING HEIGHT	35.0 FT	35.0 FT
BUILDING HEIGHT NUMBER OF STORIES	3	3
COMBINE SETBACK	10.0 FT	10.0 FT
OUTDOOR MECHANICAL EQUIPMENT SETBACK TO PROPERTY LINE	10.0 FT	10.0 FT
FRONT SETBACK	10.0 FT	10.0 FT
REAR SETBACK	10.0 FT	10.0 FT
REAR SETBACK, NORTH	10.0 FT	10.0 FT
REAR SETBACK, SOUTH	10.0 FT	10.0 FT
BUILDING HEIGHT	35.0 FT	35.0 FT
BUILDING HEIGHT NUMBER OF STORIES	3	3
COMBINE SETBACK	10.0 FT	10.0 FT
OUTDOOR MECHANICAL EQUIPMENT SETBACK TO PROPERTY LINE	10.0 FT	10.0 FT

NOTE: THE INFORMATION ON THIS SITE PLAN IS PREPARED BY THE ARCHITECT AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION ON THIS SITE PLAN.

**REVISIONS:**

REV	DATE	DESCRIPTION
1	4-17-21	NOTED
2	5-23-21	REVISED

**EXISTING SITE PLAN**

**PROPOSED SITE PLAN**

**ZONING DATA**

**TILER RESIDENCES**


**43 BEACHFRONT/42 FIRST AVE**

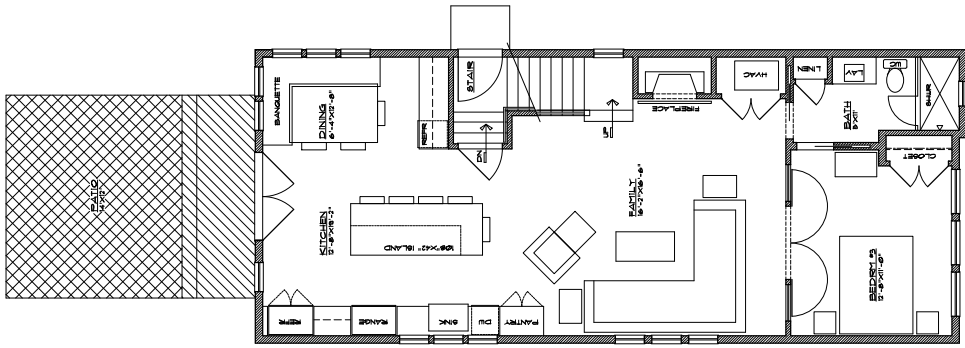
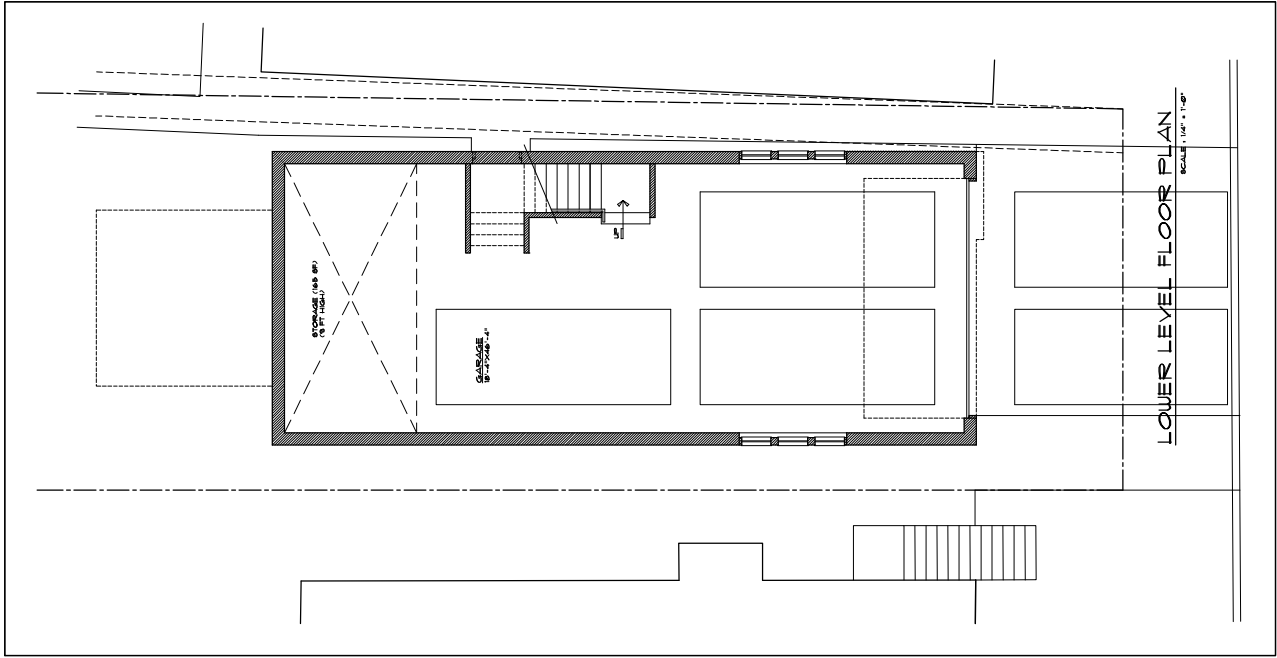
**BOROUGH OF MANASQUAN, NJ**

**M. D. HEARN ARCHITECTURE, LLC**

10079 MAIN STREET, BELMAR, NJ 07718

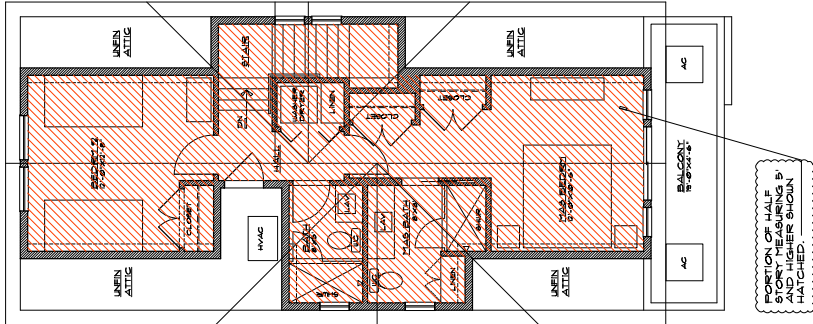
(732) 566-9055 FAX: (732) 566-9072

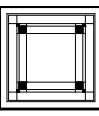
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		REV: 1 5-25-21	FLOOR PLANS	M. B. HEARN ARCHITECTURE, LLC 1007B MAIN STREET BELMAIR NEW JERSEY 07119 (732) 956-9255 FAX: (732) 956-9272	C. HEARN M. HEARN	2 OF 1	201102

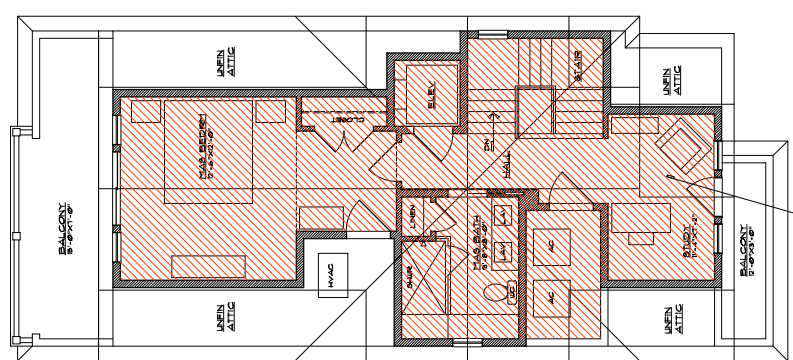
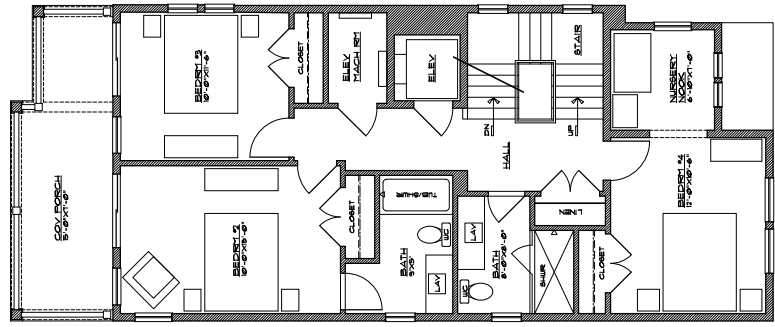
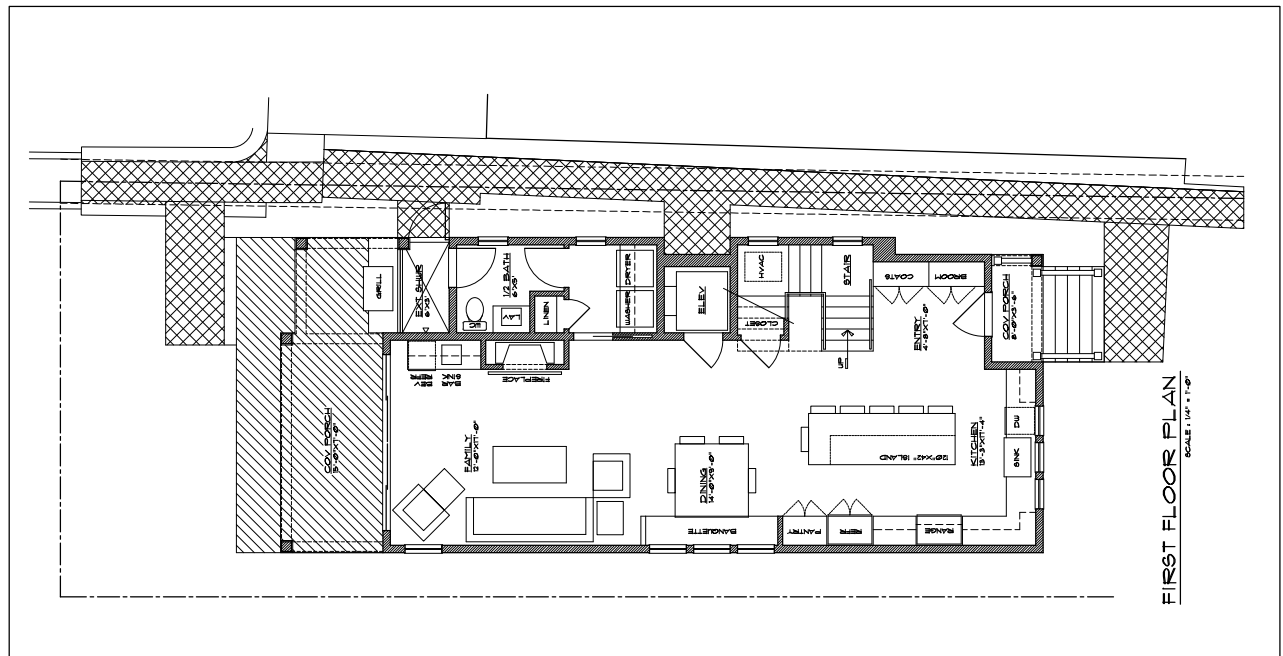


**FIRST AVENUE HOUSE**

GROSS AREA OF DWELLING: 636 SF  
 FIRST FLOOR: 545.9 SF  
 HALF STORY: 63.6 SF  
 TOTAL: 1,193 SF

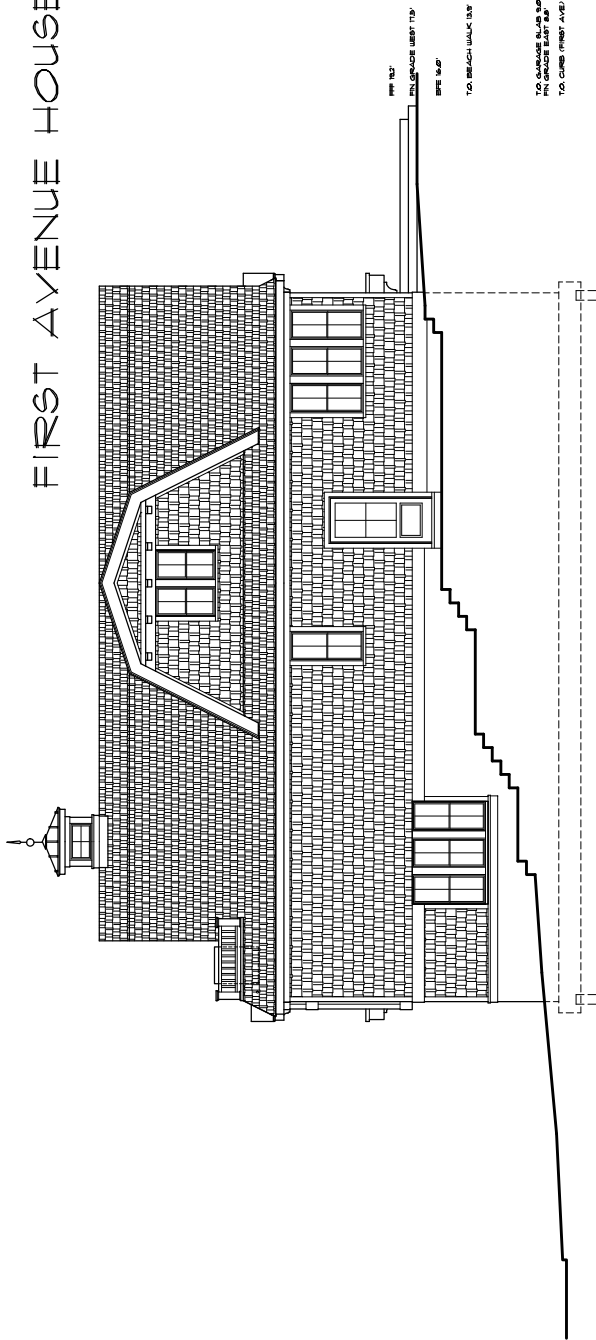


	<b>FLOOR PLANS</b> MILLER RESIDENCES 43 BEACHFRONT/42 FIRST AVE BOROUGH OF MANASQUAN, NJ	DATE: 4-21-21	NOTED:	APPROVED:	DESIGN:	PROJECT:	SHEET:
		REV: 9-23-21	3 OF 7	701022	701022	M. D. HEARN ARCHITECTURE, LLC 10078 MAIN STREET BELMAIR NEW JERSEY 07119 (732) 956-9055 FAX: (732) 956-9072	M. D. HEARN ARCHITECTURE, LLC 10078 MAIN STREET BELMAIR NEW JERSEY 07119 (732) 956-9055 FAX: (732) 956-9072



**BEACH HOUSE**  
 GROSS AREA OF DWELLING:  
 693 SF  
 FIRST FLOOR: 534 SF  
 HALF STORY: 159 SF  
 TOTAL: 793 SF

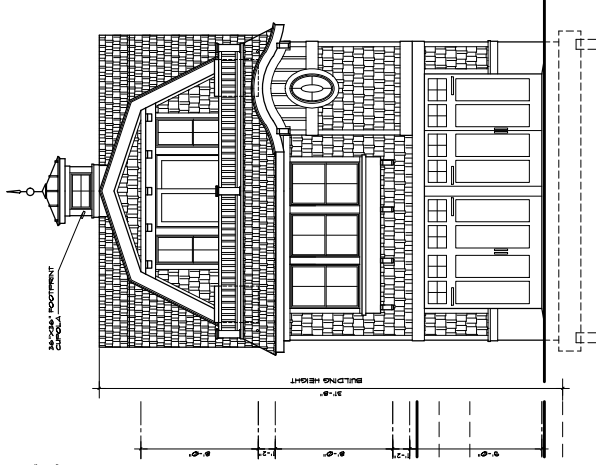
# FIRST AVENUE HOUSE



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

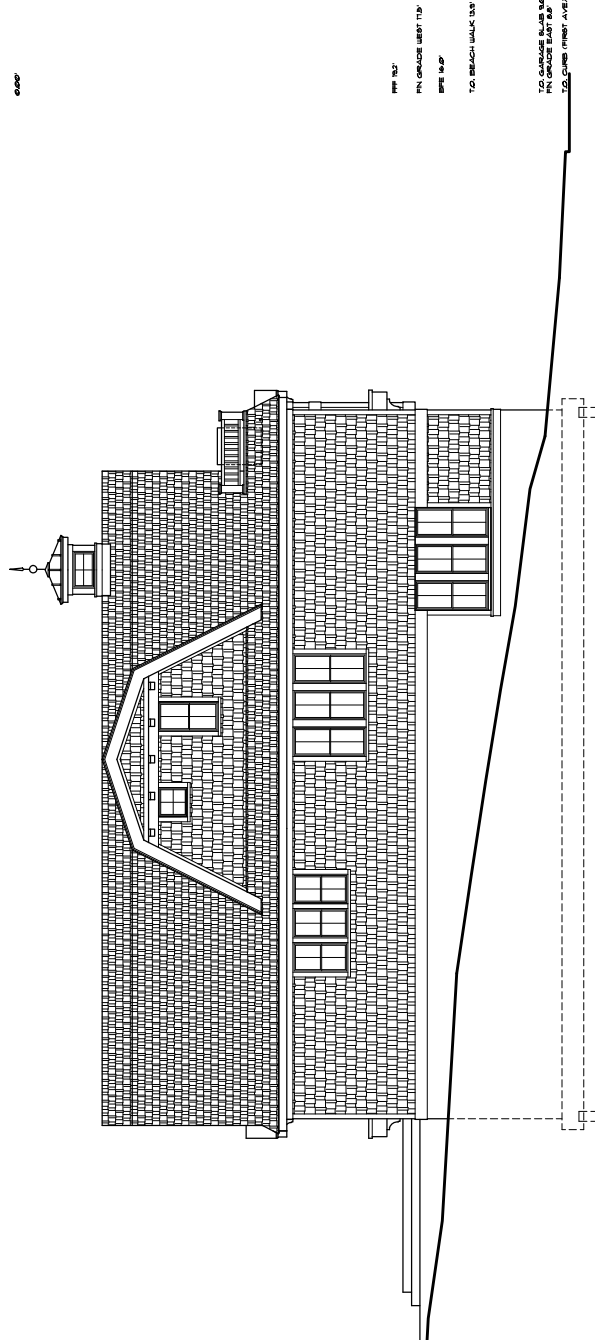
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WEST ELEVATION

SCALE: 1/4" = 1'-0"

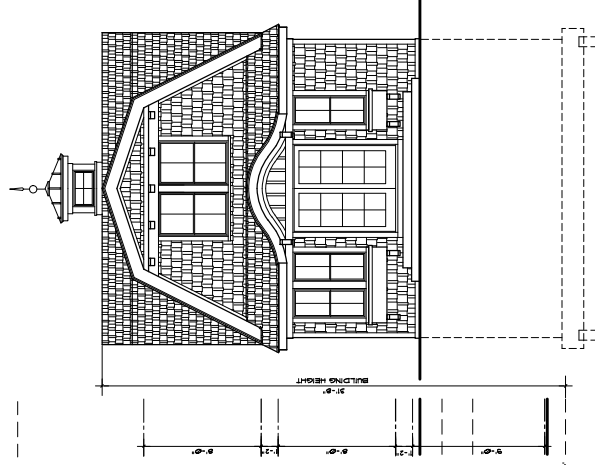
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NORTH ELEVATION

SCALE: 1/4" = 1'-0"



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EAST ELEVATION

SCALE: 1/4" = 1'-0"

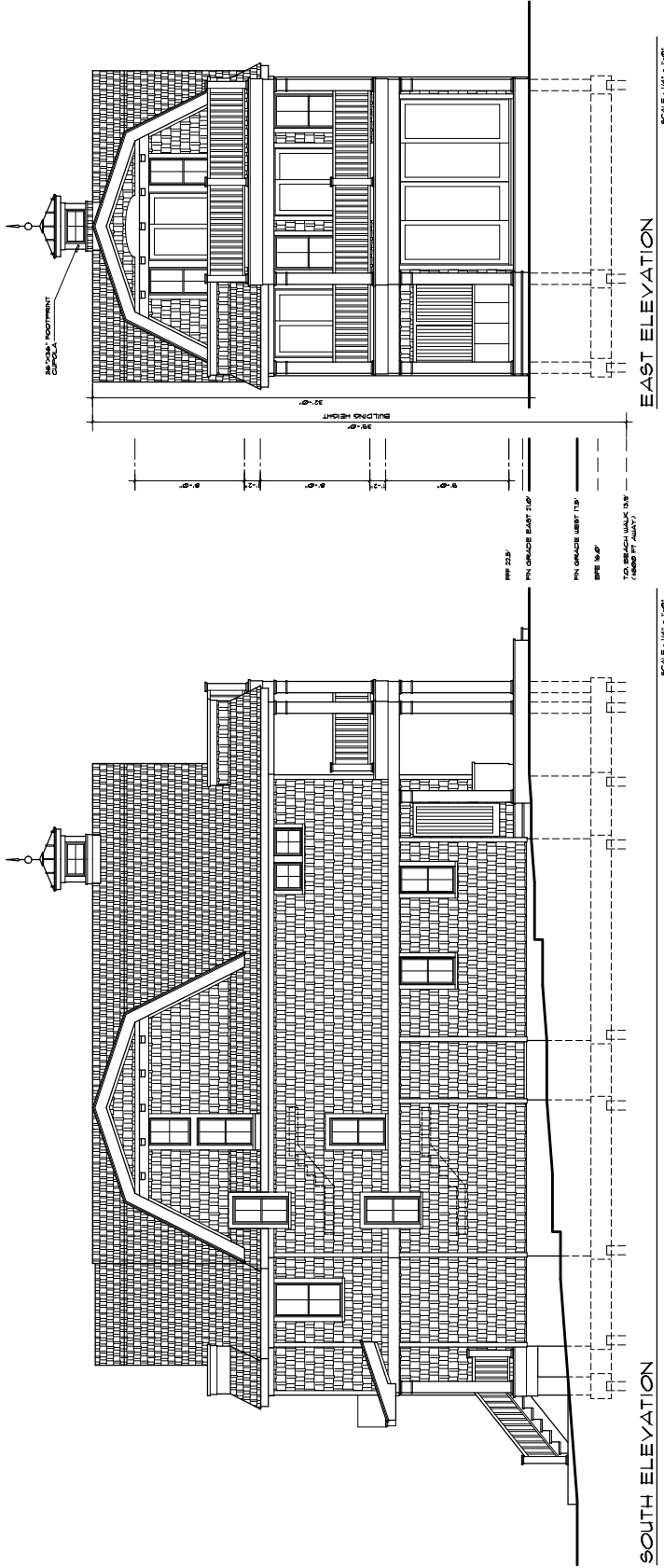
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
	MILLER RESIDENCES 43 BEACHFRONT/42 FIRST AVE BOROUGH OF MANASQUAN, NJ	DATE: 4-21-21 DRAWN BY: [Signature] APPROVED: [Signature]	NOTED: DATE:	REVISIONS: REV: 9-23-21	ELEVATIONS	M. B. HEARN ARCHITECTURE, LLC 1007B MAIN STREET BELMAR NEW JERSEY 07718 (732) 956-9055 FAX: (732) 956-9072	CONTRACT NO.: 2011022	
	M. B. HEARN ARCHITECTURE, LLC 1007B MAIN STREET BELMAR NEW JERSEY 07718 (732) 956-9055 FAX: (732) 956-9072		CONTRACT NO.: 2011022		ITEM 5.			

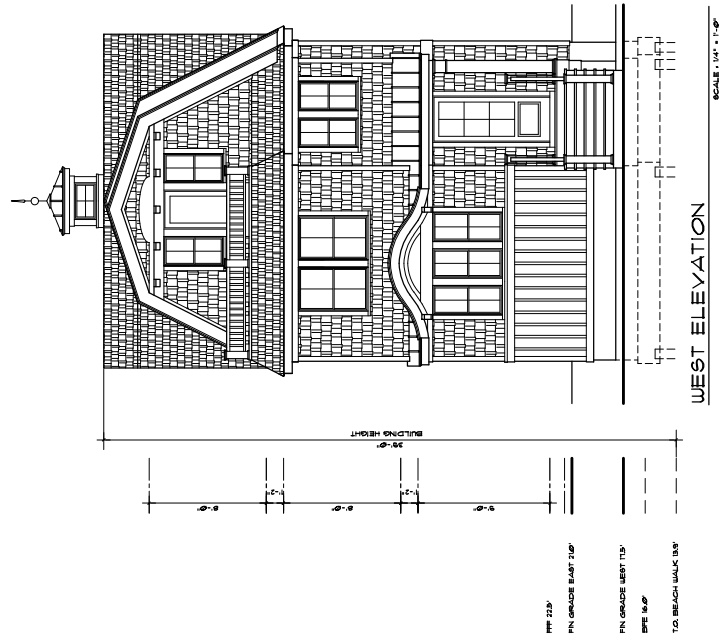


			
MILLER RESIDENCES 43 BEACHFRONT/42 FIRST AVE BOROUGH OF MANAQUAN, NJ		M. B. HEARN ARCHITECTURE, LLC 1007B MAIN STREET BELMAR NEW JERSEY 07718 (732) 956 - 9055 FAX: (732) 956-9072	
REV # 3-23-21	DATE 4-21-21	NOTED	DRAWN BY ELEVATIONS
SHEET NO. 3 OF 1	APPROVED	SCALE	PROJECT NO. 2011022

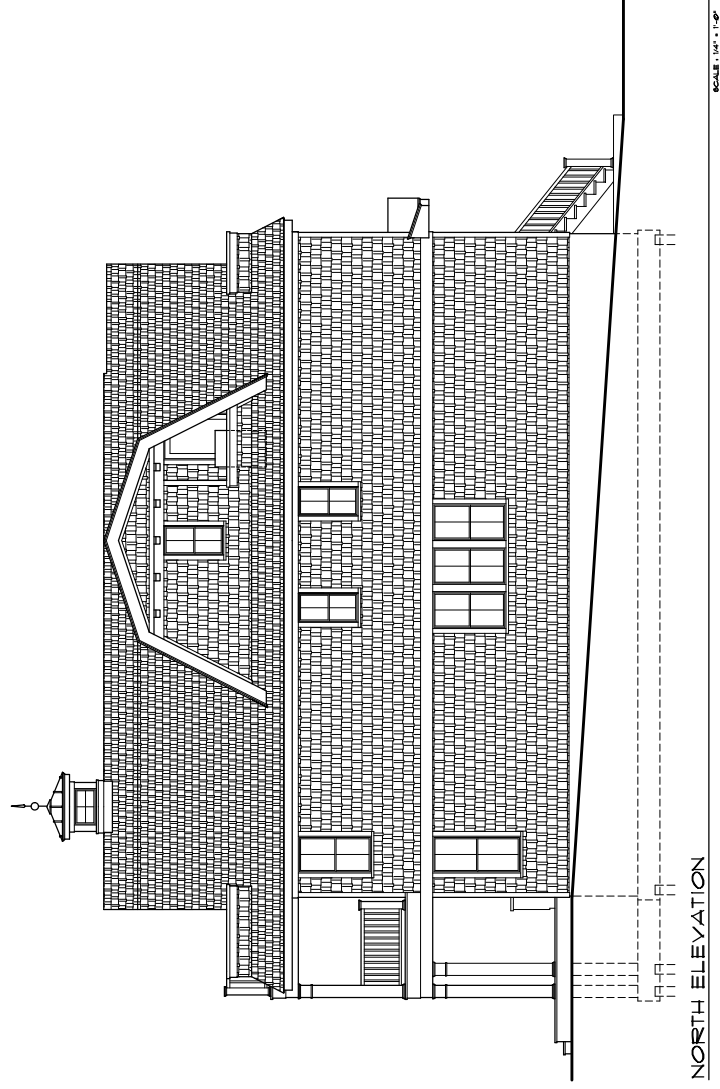
# BEACH HOUSE



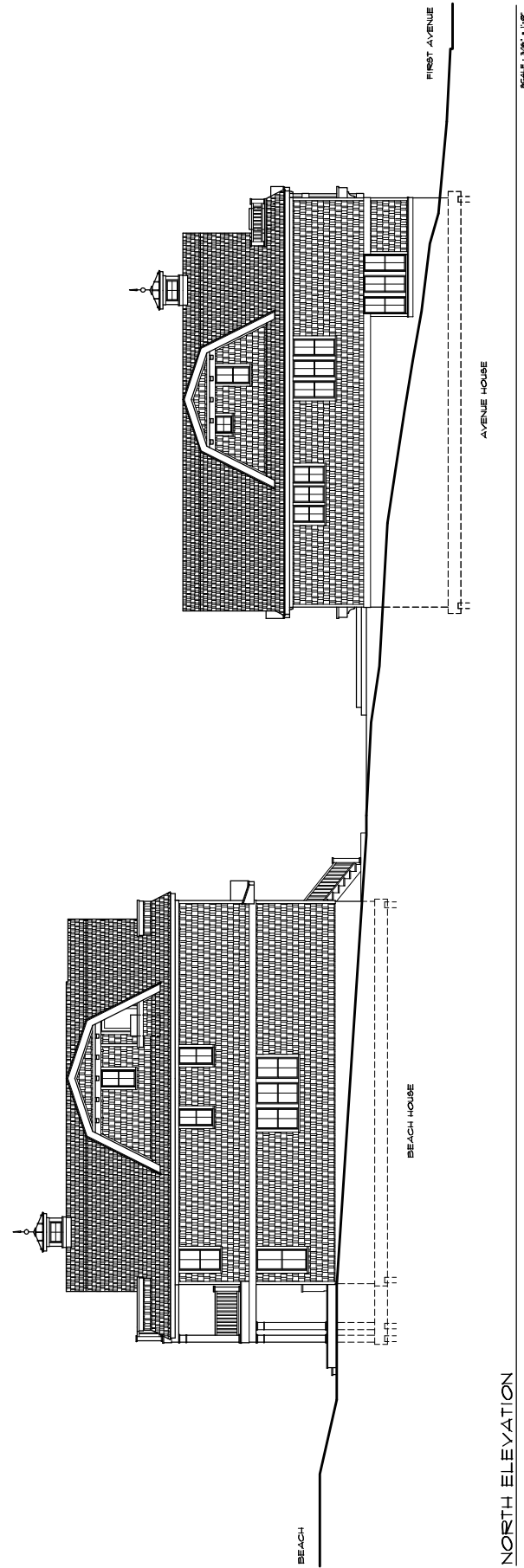
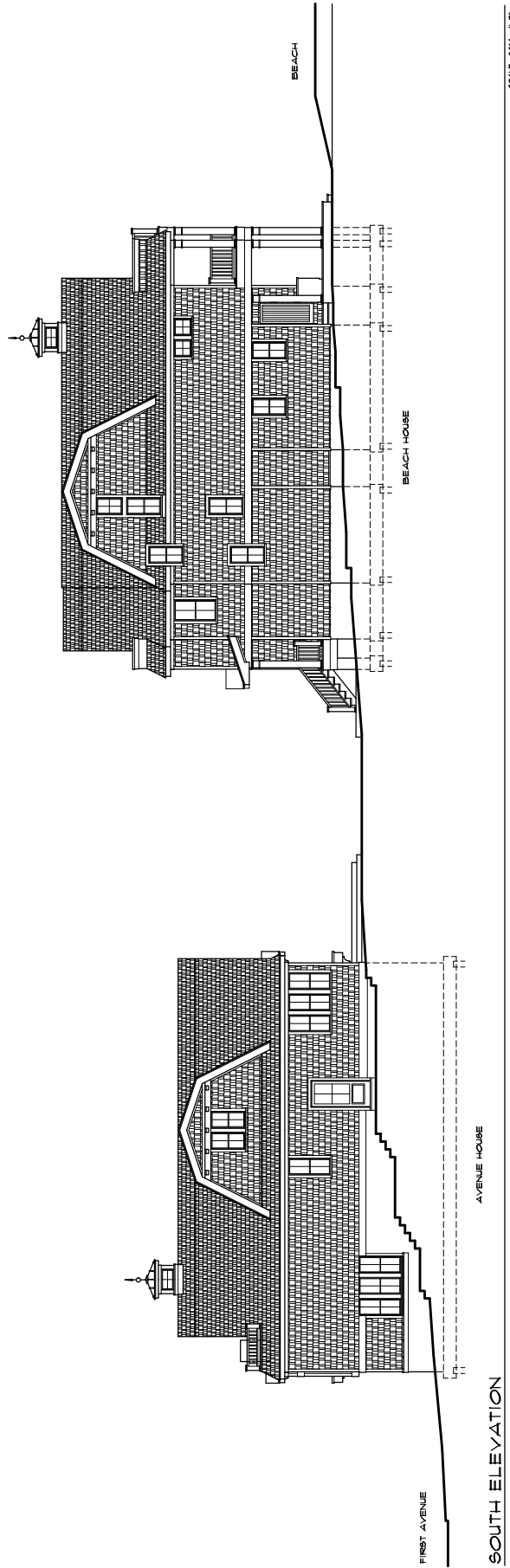
	REV 4 9-23-21 MILLER RESIDENCES 43 BEACHFRONT/42 FIRST AVE BOROUGH OF MANASQUAN, NJ	DATE 4-21-21 NOTED APPROVED DRAWN BY ELEVATIONS	PROJECT NO. 1 SHEET NO. 1
	M. B. HEARN ARCHITECTURE, LLC 1007B MAIN STREET BELMAR NEW JERSEY 07718 (732) 956-9055 FAX: (732) 956-9022		CONTRACT NO. 201102



BEACH HOUSE



	REV 4 9-23-21 MILLER RESIDENCES 43 BEACHFRONT/42 FIRST AVE BOROUGH OF MANASQUAN, NJ	DATE 4-21-21 NOTED APPROVED DRAWN BY ELEVATIONS	M. D. HEARN ARCHITECTURE, LLC 1007B MAIN STREET BELMAR NEW JERSEY 07718 (732) 956-9055 FAX: (732) 956-9072	SCALE: 3/8" = 1'-0" 2011022
	MILLER RESIDENCES 43 BEACHFRONT/42 FIRST AVE BOROUGH OF MANASQUAN, NJ	DATE 4-21-21 NOTED APPROVED DRAWN BY ELEVATIONS	M. D. HEARN ARCHITECTURE, LLC 1007B MAIN STREET BELMAR NEW JERSEY 07718 (732) 956-9055 FAX: (732) 956-9072	SCALE: 3/8" = 1'-0" 2011022



June 30, 2021

Mary Salerno, Secretary  
Manasquan Borough Planning Board  
201 East Main Street  
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1630  
Variance – Salt Air Properties  
Block 165, Lot 15.01  
43 Beachfront/42 First Avenue  
R-4 Single-Family Residential Zone  
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Topographic Survey prepared by Paul Lynch, PLS, dated January 8, 2021.
2. Architectural Floorplans, Elevations, and Site Plan prepared by Mary Hearn, AIA, dated April 21, 2021, last revised May 25, 2021.

The property is located in the R-4 Single-Family Residential Zone with frontage on First Avenue and the Beachfront. With this application, the applicant proposes to demolish the both existing dwellings and construct a raised two story garage dwelling on First Avenue, a three story dwelling on the beachfront, and associated site improvements. This application is deemed complete as of June 30, 2021.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-4 Single Family Residential Zone. The proposed residential use is permitted in the zone.
2. The following bulk ('c') variances are required as part of this application:

*Lot 15.01*

- a. A maximum building coverage of 35% is permitted, whereas a building coverage of 47.2% is proposed.

Re: Boro File No. MSPB-R1630  
Variance – Salt Air Properties  
Block 165, Lot 15.01

June 30, 2021  
Sheet 2

*Beachfront Dwelling (43 Beachfront)*

- b. A minimum side yard setback of 5 feet is required, whereas a setback of 3 feet is proposed (north).
- c. A minimum side yard setback of 5 feet is required, whereas a setback of 3 feet is proposed (south).
- d. A maximum building height of 33 feet is permitted, whereas building height of 39 feet is proposed. The applicant also proposes a cupola, the exact height of which should be indicated.
- e. A maximum building height of 2½ stories is permitted, whereas building height of 3 stories is proposed.
- f. A maximum half story of 50% is permitted, whereas a half story of 63.5% is proposed.
- g. A dormer setback of 2 feet is required, whereas a dormer setback of 0 feet is proposed.

*First Avenue Dwelling (42 First Avenue)*

- h. A minimum side yard setback of 5 feet is required, whereas a setback of 3 feet is proposed (north).
  - i. A minimum side yard setback of 5 feet is required, whereas a setback of 3 feet is proposed (south).
3. The following non-conformities exist on Lot 27 and are not proposed to be modified as part of this application:
    - a. A minimum lot frontage of 30 feet is required, whereas an frontage of 26 feet exists.
  4. The base flood elevation for the property is 16 (Zone VE). The finish first floor of the First Avenue dwelling is proposed at elevation 19.2 and the beachfront dwelling at elevation 22.5.
  5. The air conditioning units are proposed to be located on raised decks on both dwellings, above the BFE.
  6. The applicant is providing the required 80 square feet of storage space in the First Avenue dwelling garage floor.
  7. Three conforming parking spaces are provided within the First Avenue garage and two additional spaces are shown in front of the garage. These two spaces will be partially located within the right-of-way, but outside the roadway.


Re: Boro File No. MSPB-R1630  
Variance – Salt Air Properties  
Block 165, Lot 15.01

June 30, 2021  
Sheet 3

8. A dedicated walkway to the beachfront is proposed, partially located within the existing easement area with adjacent Lots 15.03 and 15.04.
9. A drainage recharge system in accordance with the Borough's stormwater ordinance is not required as the property is located within the R-4 beachfront zone
10. Construction details for the proposed pavers and any other site improvements should be provided on the plans.
11. The method of stabilizing the lot must be indicated on the plan.
12. A landscaping plan for the property must be provided. No trees will be removed as part of this application.
13. Any new utilities should be located underground if possible.
14. The two new dwellings will need to be serviced by separate water and sewer lines, the locations of which must be shown on the plans.
15. Any curb and sidewalk must be replaced along First Avenue as necessary.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,



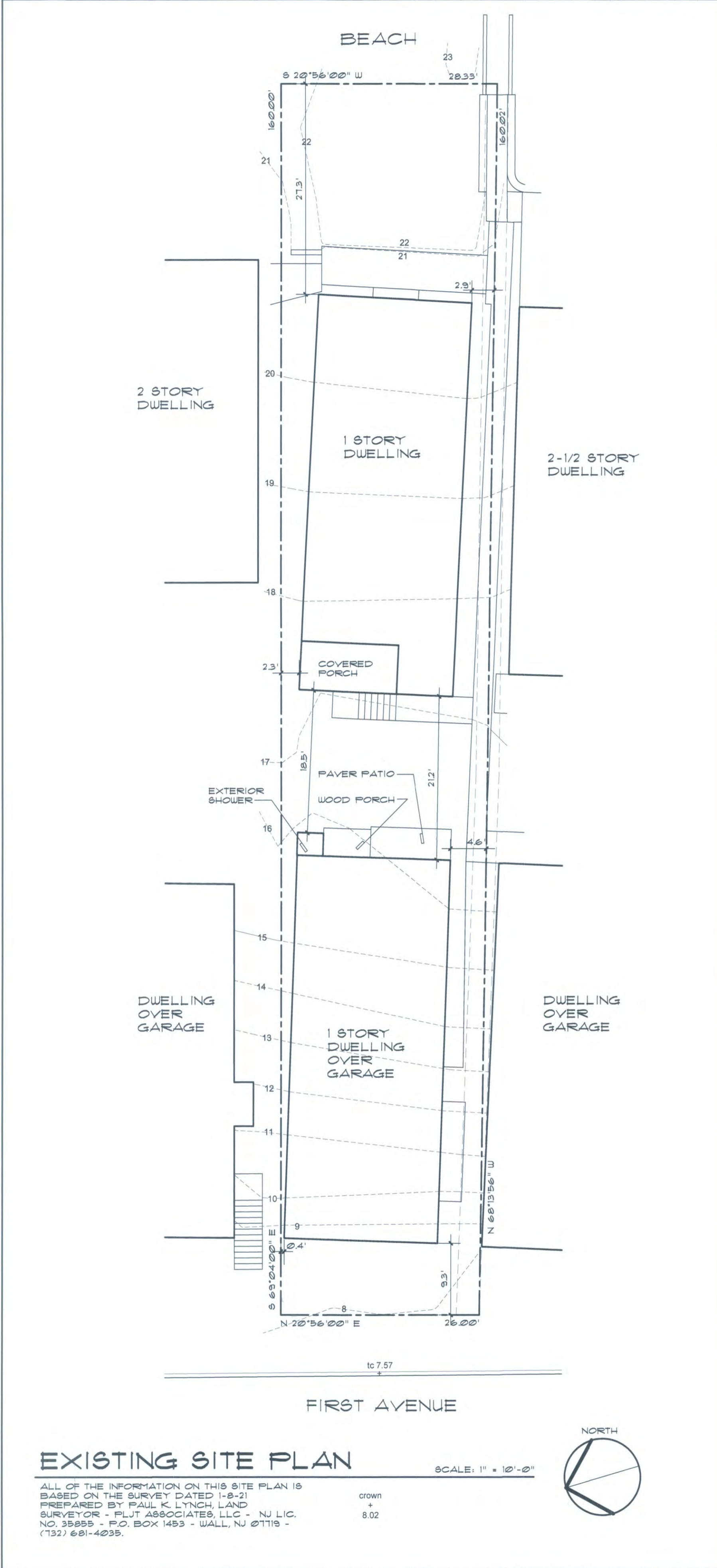
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ALBERT D. YODAKIS, P.E., P.P.  
PLANNING BOARD ENGINEER  
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney  
Jeffrey Beekman, esq.  
47 Main Avenue, Ocean Grove, NJ 07756  
Mary Hearn, AIA  
M.B. Hearn Architecture, LLC, 1007B Main Street, Belmar, NJ 07719  
Salt Air Properties, LLC  
10851 Gulf Shore Drive, #802, Naples, FL 34108



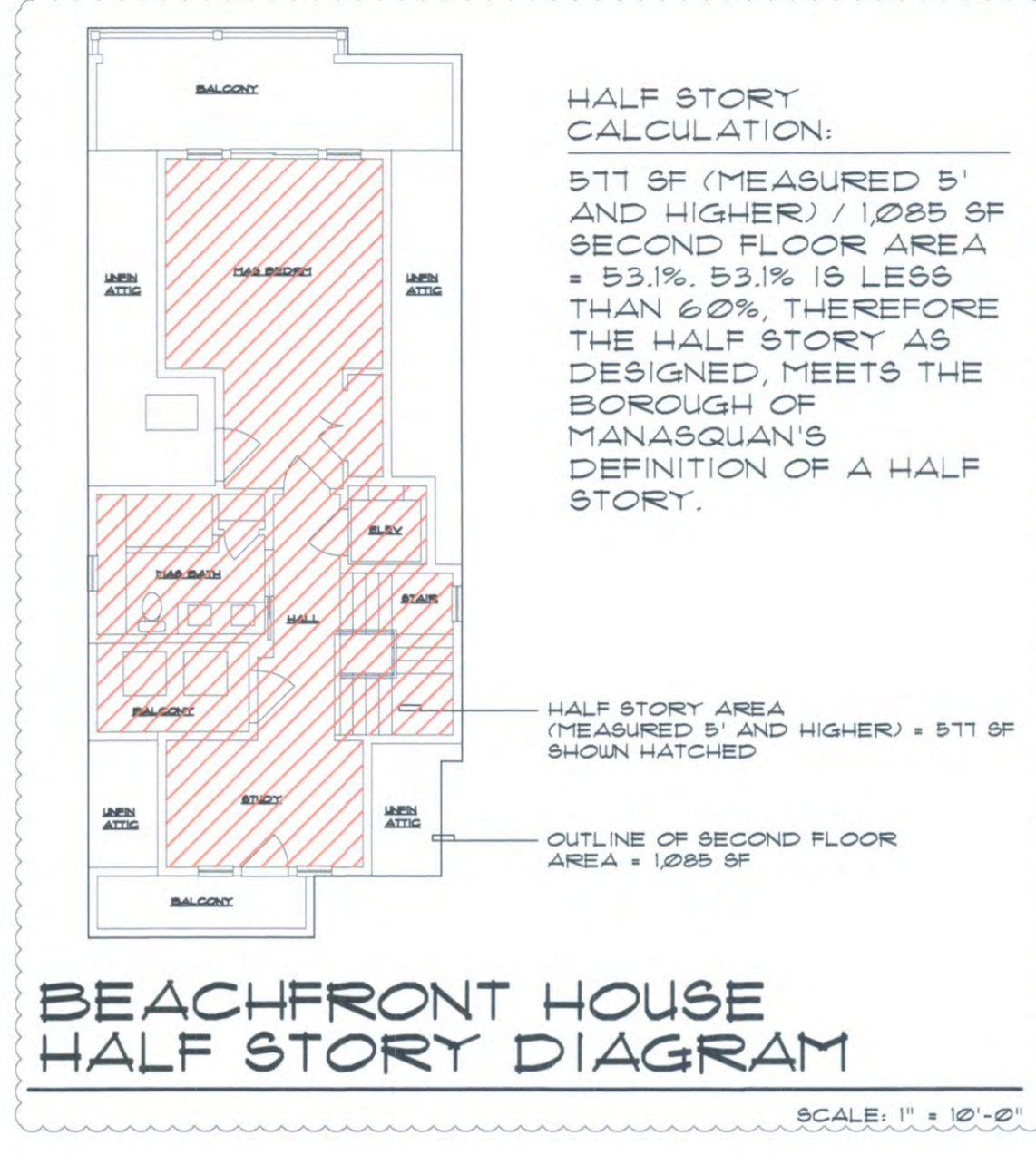
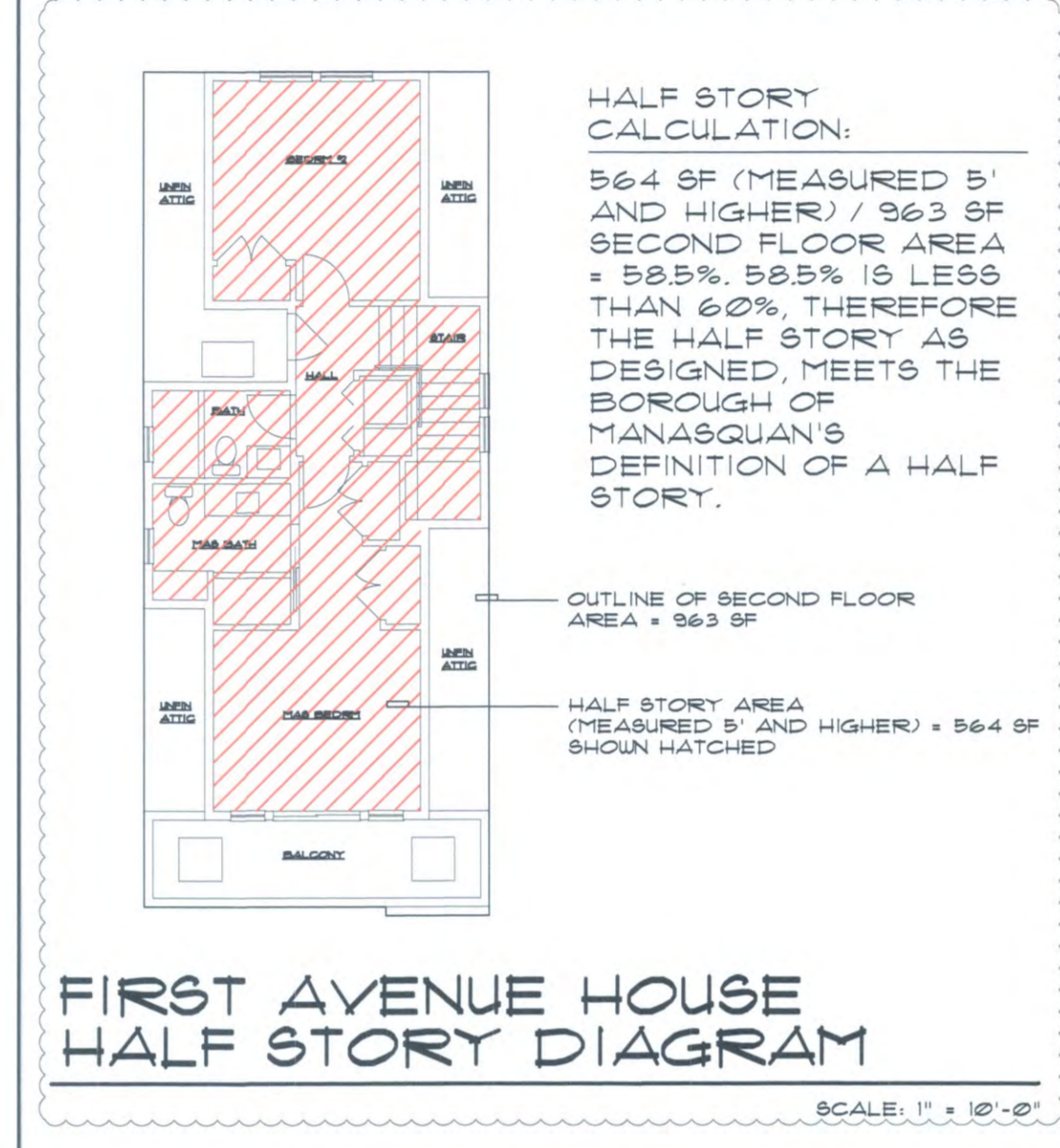


**EXISTING ZONING DATA:**

SITE AREA:	4,346 SF
<b>BUILDING COVERAGE:</b>	
BEACHFRONT DWELLING:	925 SF
BEACHFRONT COVERED PORCHES:	963 SF
FIRST AVENUE DWELLING:	1,020 SF
EXTERIOR SHOWER:	10 SF
TOTAL:	2,943 SF = 41.2%
<b>LOT COVERAGE:</b>	
BEACHFRONT DWELLING:	925 SF
BEACHFRONT COVERED PORCHES:	963 SF
FIRST AVENUE DWELLING:	1,020 SF
EXTERIOR SHOWER:	10 SF
CONCRETE DRIVEWAY, WALKS, LANDING & STEPS:	609 SF
TOTAL:	2,648 SF = 60.9%
<b>GROSS AREA OF BEACHFRONT DWELLING:</b>	
FIRST FLOOR:	925 SF
TOTAL:	925 SF
<b>GROSS AREA OF FIRST AVENUE DWELLING:</b>	
FIRST FLOOR:	1,020 SF
TOTAL:	1,020 SF

**PROPOSED ZONING DATA:**

SITE AREA:	4,346 SF
<b>BUILDING COVERAGE:</b>	
BEACHFRONT DWELLING:	925 SF
BEACHFRONT COVERED PORCHES:	963 SF
FIRST AVENUE DWELLING:	963 SF
TOTAL:	2,851 SF = 47.2%
<b>LOT COVERAGE:</b>	
BEACHFRONT DWELLING:	925 SF
BEACHFRONT COVERED PORCHES:	963 SF
FIRST AVENUE DWELLING:	963 SF
STEPS:	11 SF
RETAINING WALLS:	8 SF
TOTAL:	2,199 SF = 49.2%
<b>GROSS AREA OF BEACHFRONT DWELLING:</b>	
FIRST FLOOR:	895 SF
SECOND FLOOR:	934 SF
HALF STORY:	934 SF
TOTAL:	2,423 SF
<b>GROSS AREA OF FIRST AVENUE DWELLING:</b>	
LOWER LEVEL (963 SF NOT LIVABLE):	0 SF
FIRST FLOOR:	963 SF
HALF STORY:	630 SF
TOTAL:	1,593 SF

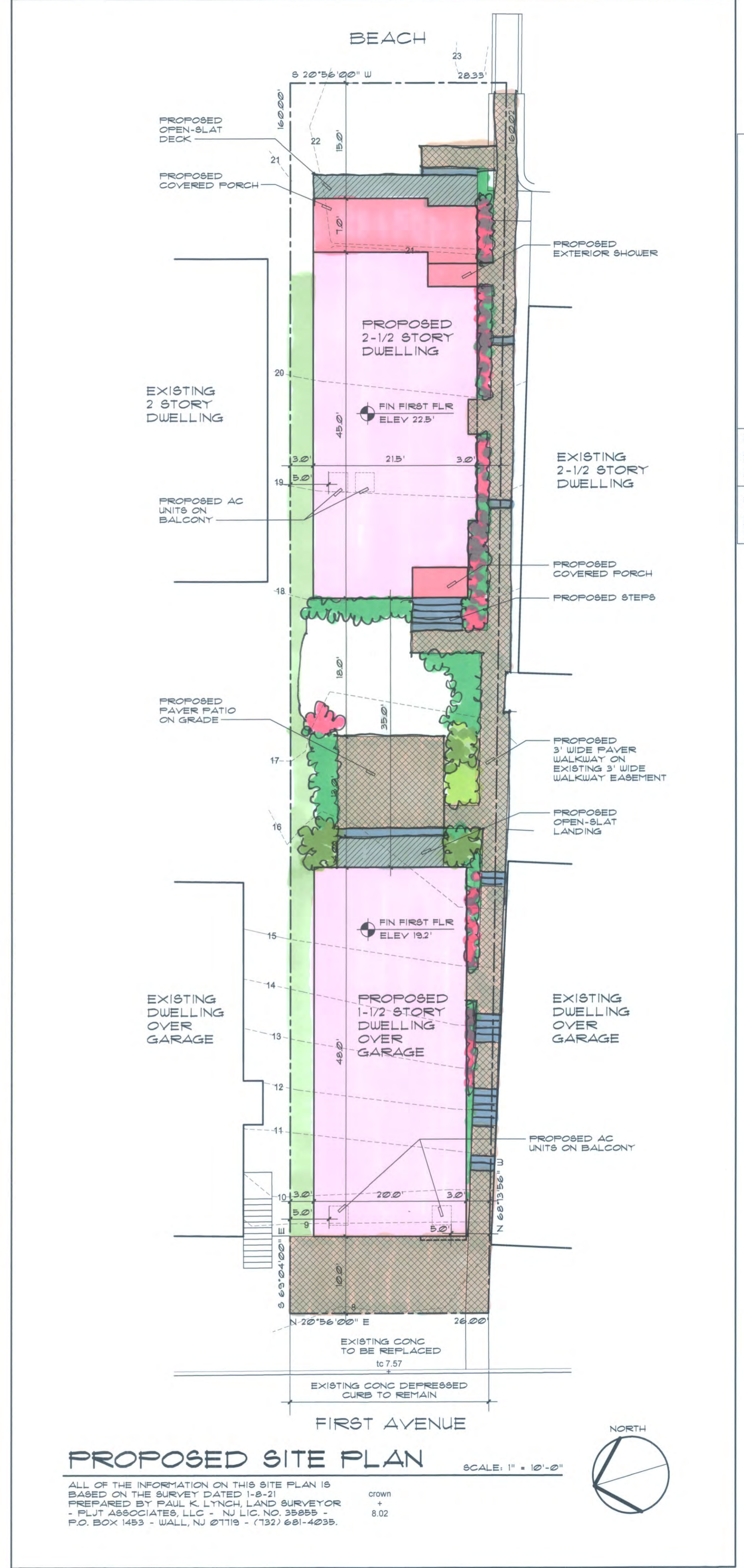


**ZONING CHART: R-4 BEACHFRONT ZONE**

	EXISTING	PROPOSED	REQUIRED
<b>SITE:</b>			
LOT AREA:	4,346 SF	4,346 SF	4,200 SF MIN
LOT FRONTAGE:	26.0 FT	26.0 FT	30 FT MIN
BUILDING COVERAGE:	47.2%	47.2%	35% MAX
LOT COVERAGE:	60.9%	49.2%	50% MAX
ON SITE PARKING:	4 SPACES	5 SPACES	4 SPACES MIN
FRONT SETBACK, AGGREGATE:	NA	NA	NA
SEPARATION DISTANCE BETWEEN DWELLINGS:	212 FT	35.0 FT	35 FT MIN
<b>FIRST AVENUE HOUSE:</b>			
FRONT SETBACK, FIRST AVENUE:	9.3 FT	10.0 FT	10 FT MIN
REAR SETBACK:	NA	NA	NA
SIDE SETBACK, NORTH:	0.4 FT	3.0 FT	5 FT MIN
SIDE SETBACK, SOUTH:	4.6 FT	3.0 FT	5 FT MIN
BUILDING HEIGHT:	13.0 FT	31.6 FT	32 FT MAX
BUILDING HEIGHT, NUMBER OF STORIES (OVER GARAGE):	1 STORY	1-1/2 STORY	1-1/2 STORY MAX
OUTDOOR MECHANICAL EQUIPMENT SETBACK TO PROPERTY LINES:	NA	5.0 FT	5 FT MIN
<b>BEACHFRONT HOUSE:</b>			
FRONT SETBACK, BEACHFRONT:	27.3 FT	15.0 FT	15 FT MIN
REAR SETBACK:	NA	NA	NA
SIDE SETBACK, NORTH:	2.3 FT	3.0 FT	5 FT MIN
SIDE SETBACK, SOUTH:	2.9 FT	3.0 FT	5 FT MIN
BUILDING HEIGHT:	42.0 FT ***	39.0 FT ***	33 FT MAX
BUILDING HEIGHT, NUMBER OF STORIES:	1 STORY	2-1/2 STORY	2-1/2 STORY MAX
DORMER SETBACK:	NA	0 FT	2 FT MIN
OUTDOOR MECHANICAL EQUIPMENT SETBACK TO PROPERTY LINES:	NA	5.0 FT	5 FT MIN

\*\*\* NOTE! THE PROPOSED BUILDING HEIGHT FOR THE PROPOSED BEACHFRONT DWELLING IS MEASURED ABOVE THE CLOSEST POINT OF THE MONUMENTED BEACH WALK WHICH IS AT ELEVATION 13.9' AND APPROXIMATELY 800 FT SOUTH OF THIS SUBJECT PROPERTY. THE PROPOSED BUILDING HEIGHT IS 33'-0" ABOVE ELEVATION 21.0'. THE EXISTING BEACH ELEVATION AT THE REAR OF THIS PROPERTY IS AT ELEVATION 22.0'.

NOTES:  
1. A WALKWAY, WITH A MINIMUM OF 3 FOOT WIDTH, TO PROVIDE ACCESS TO THE BEACHFRONT IS PROPOSED.  
2. EACH DWELLING SHALL BE SERVICED BY A SEPARATE WATER AND SEWER LINE.  
3. THE HALF STORIES COMPLY WITH THE REQUIREMENTS OUTLINED IN SECTION 39-3.



MILLER RESIDENCES

REV # 15-25-21

Miller Residences  
43 Beachfront/42 First Ave  
Borough of Manasquan, NJ

Sheet No. 1 OF 1

Date 4-21-21

Scale NOTED

Approved MBH

Drawn By MBH

EXISTING SITE PLAN  
PROPOSED SITE PLAN  
ZONING DATA

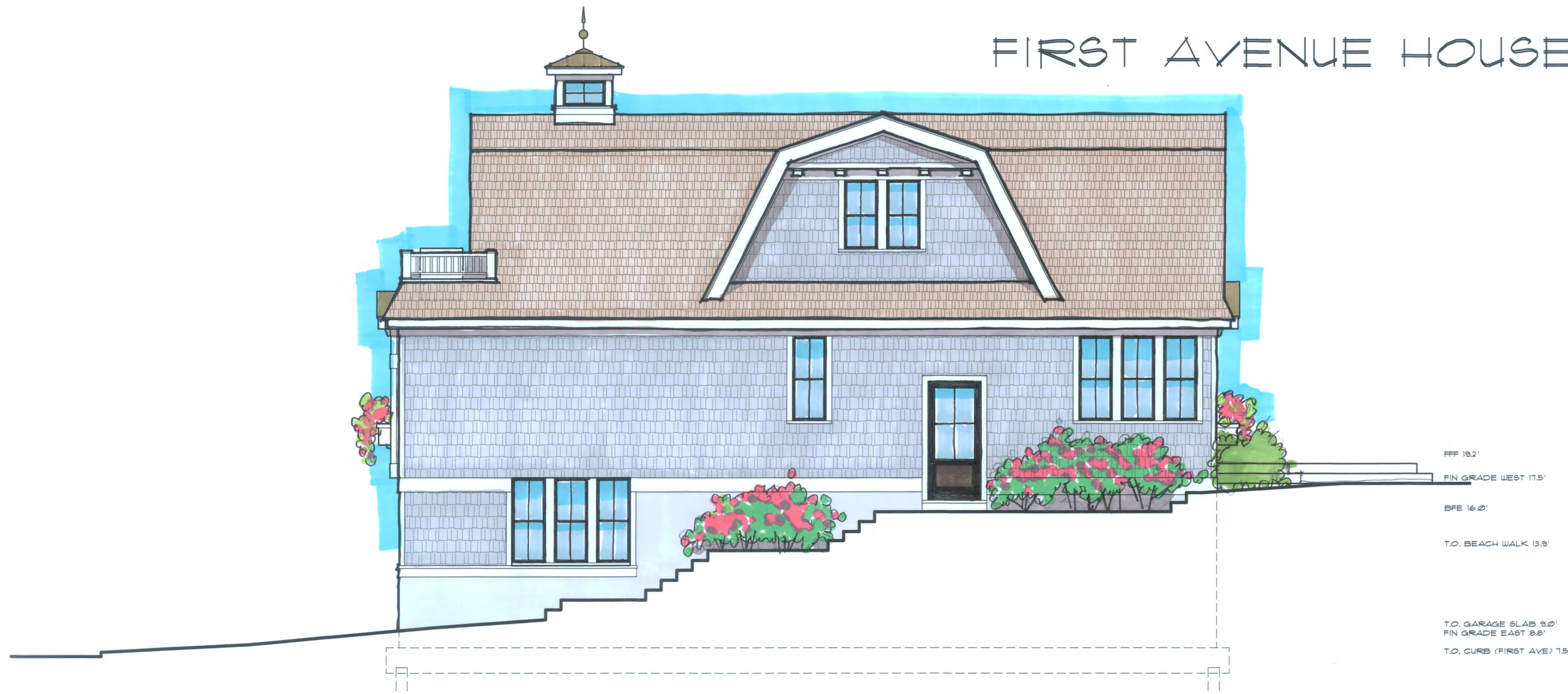
M. B. HEARN ARCHITECTURE, LLC  
1007B MAIN STREET BELMAR, NEW JERSEY 07715  
(732) 556-9055 FAX: (732) 556-9302

MBH HEARN, LLC  
REGISTERED ARCHITECT  
C-13885

201102



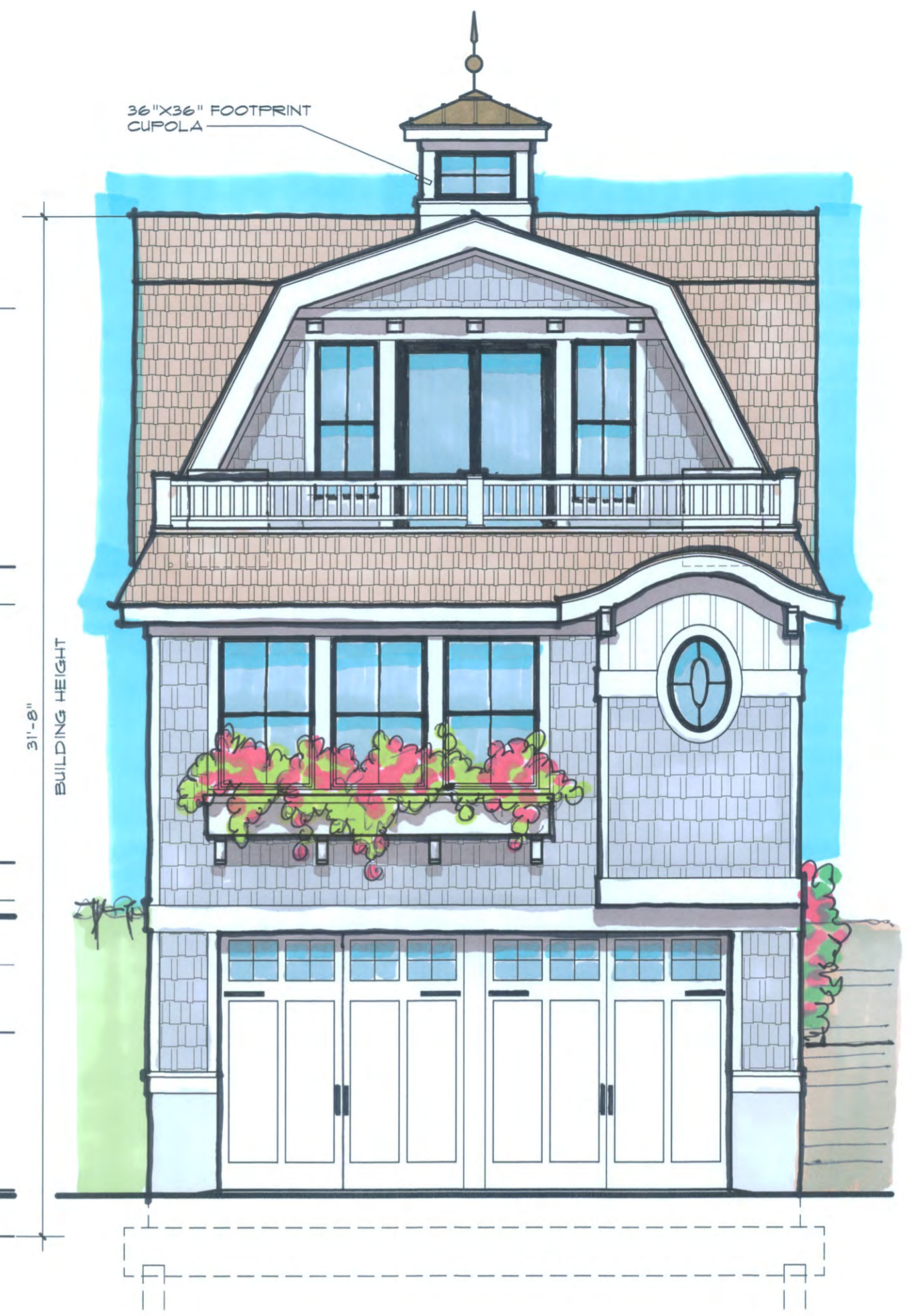
# FIRST AVENUE HOUSE



SOUTH ELEVATION

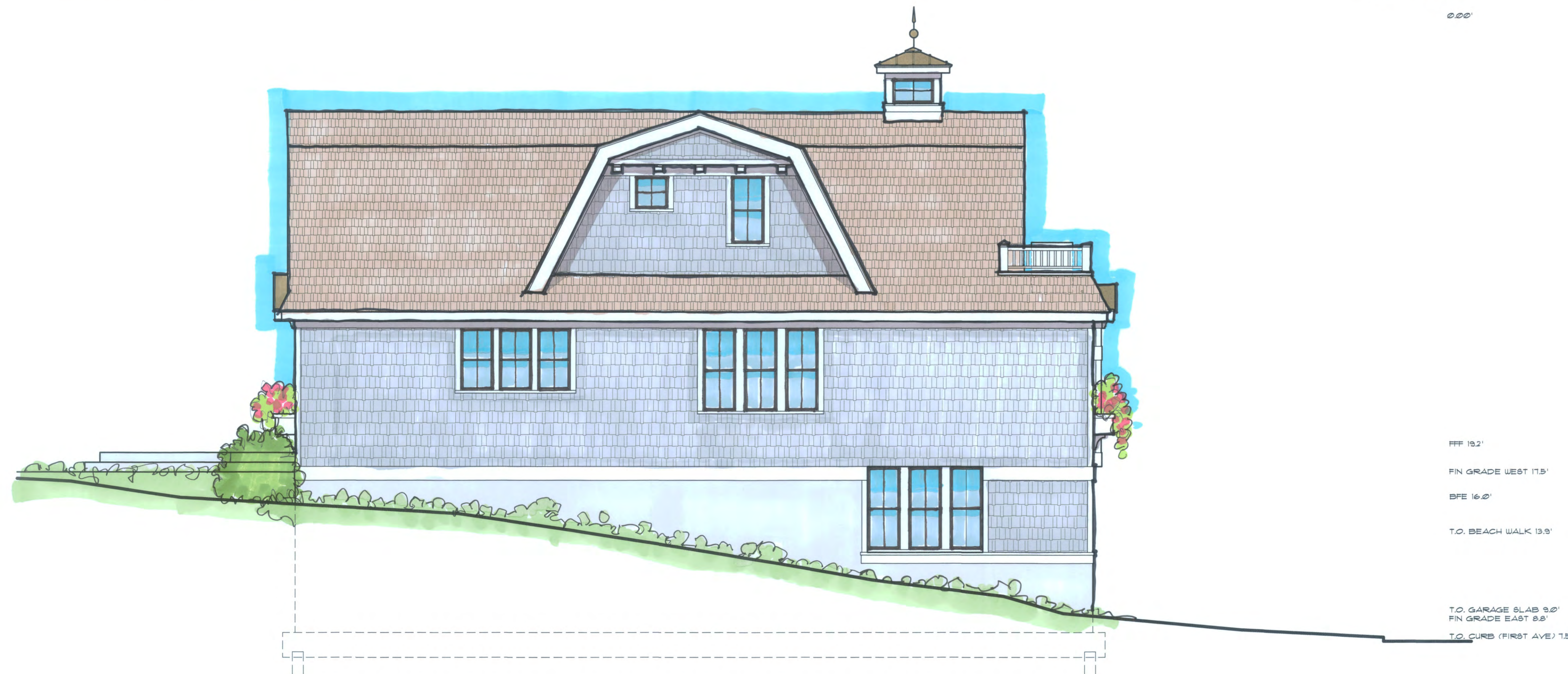
SCALE: 1/4" = 1'-0"

000



WEST ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

000



EAST ELEVATION

SCALE: 1/4" = 1'-0"

REV. # 5-25-21

MILLER RESIDENCES  
43 BEACHFRONT/42 FIRST AVE  
BOROUGH OF MANASQUAN, NJ

Drawn No. 4 OF 7

Date 4-27-21

NOTED

Approved

Drawn By MIBH

ELEVATIONS

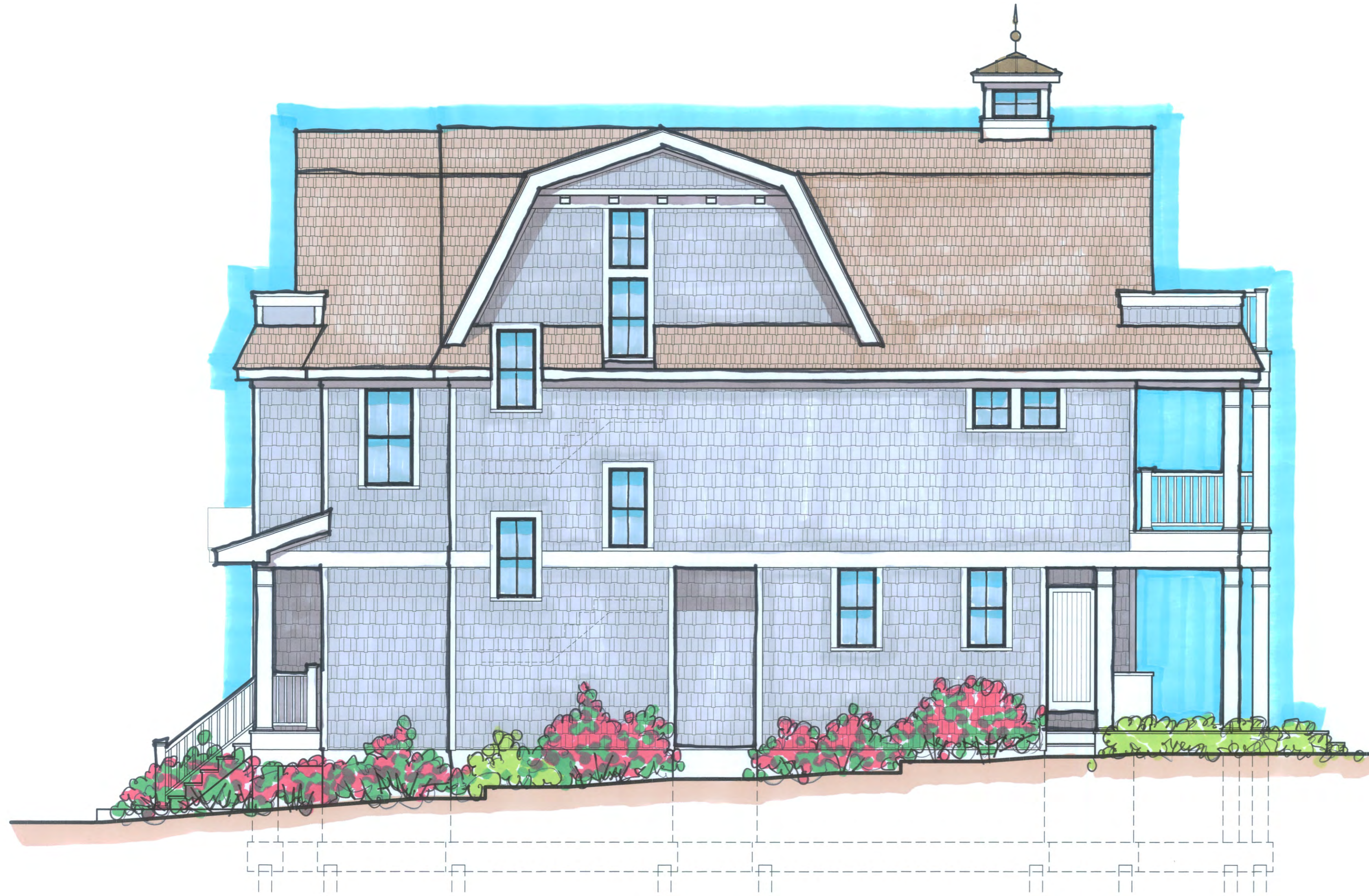
MARY HEARN, AIA  
REGISTERED ARCHITECT  
C. 02026

M. B. HEARN ARCHITECTURE, LLC  
1007B MAIN STREET BELMAR, NEW JERSEY 07719  
(732) 556-9055 FAX: (732) 556-9072

Comm. No. 201102



# BEACH HOUSE



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

FFF 22.5'  
 FIN GRADE EAST 21.0'  
 FIN GRADE WEST 17.5'  
 BFE 16.0'  
 T.O. BEACH WALK 13.9'  
 (1800 FT AWAY)

0.00'

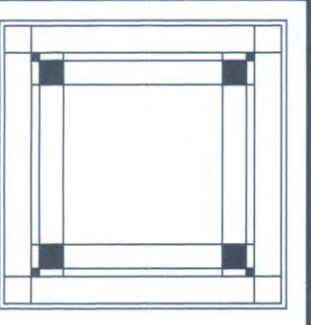
REV # | B-2B-21

MILLER RESIDENCES  
 43 BEACHFRONT/42 FIRST AVE  
 BOROUGH OF MANASQUAN, NJ

ELEVATIONS  
 Drawn By: MBH  
 Approved: [Signature]  
 Date: 4-27-21  
 Sheet No: B-CF-1

M. B. HEARN, AIA  
 REGISTERED ARCHITECT  
 C. - 10889

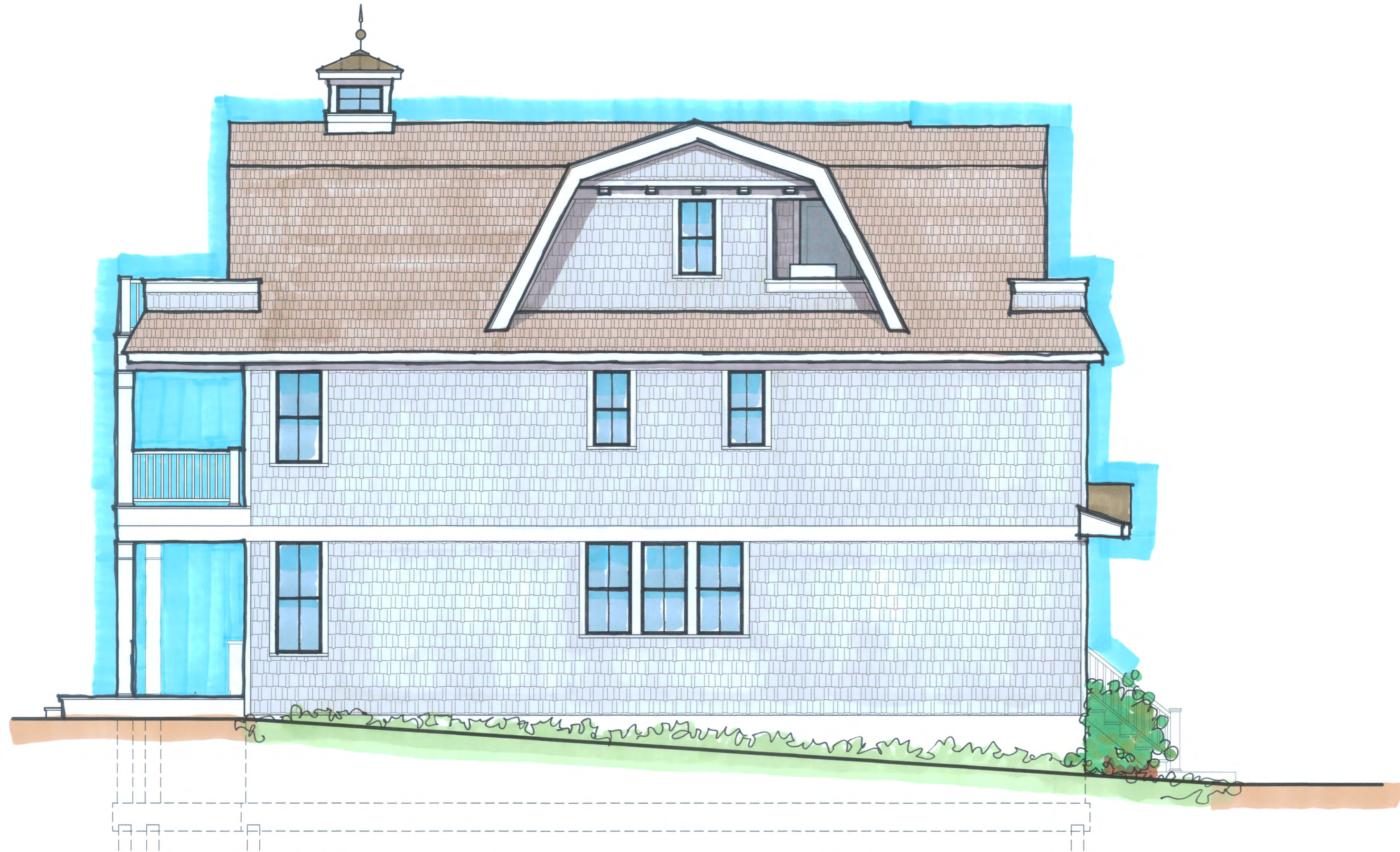
**M. B. HEARN ARCHITECTURE, LLC**  
 1007B MAIN STREET BELMAR, NEW JERSEY 07719  
 (732) 556-9012 FAX: (732) 556-9012



Comm. No. 201102



# BEACH HOUSE



NORTH ELEVATION

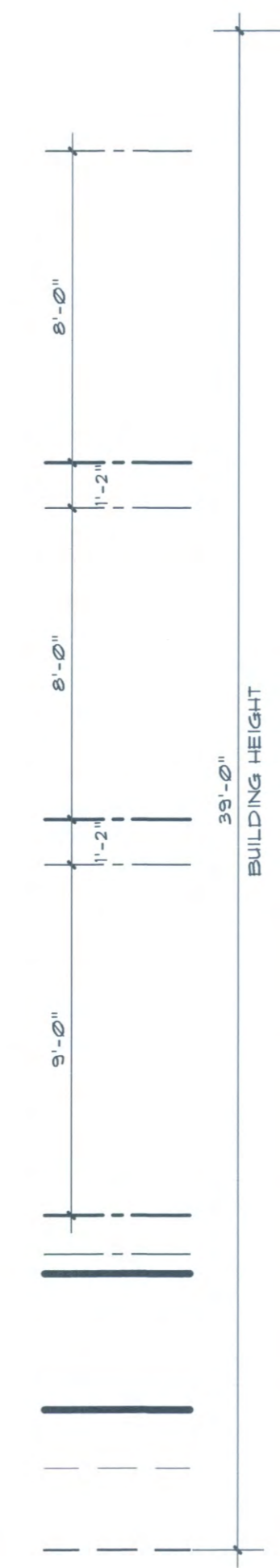
SCALE : 1/4" = 1'-0"



WEST ELEVATION

SCALE : 1/4" = 1'-0"

FFF 22.5'  
 FIN GRADE EAST 21.0'  
 FIN GRADE WEST 17.5'  
 BFE 16.0'  
 T.O. BEACH WALK 13.9'  
 0.00'



REV # 5-29-21

MILLER RESIDENCES  
 43 BEACHFRONT/42 FIRST AVE  
 BOROUGH OF MANASQUAN, NJ

Date 4-21-21  
 Sheet No. 6 OF 1

ELEVATIONS

Drawn By MBH  
 Approved NOTED

MARY HEARN, AIA  
 ARCHITECT  
 12/2006

**M. B. HEARN ARCHITECTURE, LLC**  
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Comm. No. 201102



1A: First Avenue House (center) looking East





1B: First Avenue house looking South East





1C: First Avenue house looking North East





1D: First Avenue looking West





1E: First Avenue looking South West





1F: First Avenue looking North West





























3A: First Avenue house looking West





3B: Beach house looking East





3C: Beach house looking North East





3D: Walking path looking from East of beach house





3E: Walking path looking from East of First Avenue house

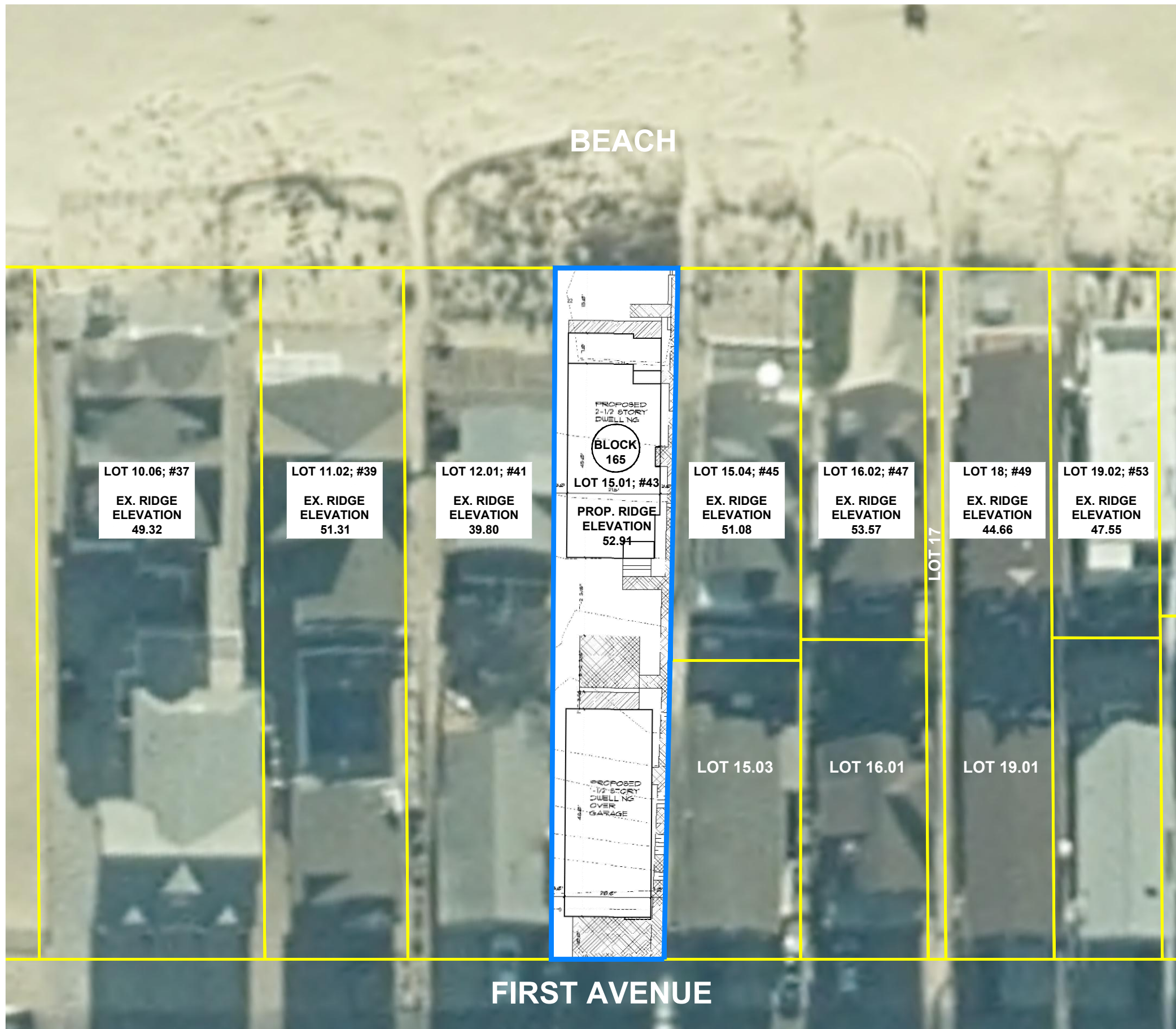






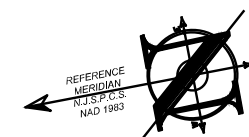
3F: Aerial  
Google maps





# 42 FIRST AVENUE - 43 BEACHFRONT

*Borough of Manasquan, Monmouth County, New Jersey*



- NOTE:
1. LOT LINES SHOWN HEREON BASED ON MONMOUTH COUNTY GIS.
  2. AERIAL BASEMAP SHOWN HEREON TAKEN FROM NJ OGIS IMAGERY WAREHOUSE DATED 2020.